



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: **Kelsey Creek Building E**

Proposal Address: 106 148th Avenue SE

Proposal Description: Request for Design Review approval and a SEPA Determination to construct a 5,853 square foot medical office/retail building with associated parking, circulation and landscape improvements.

File Number: **16-128897-LD**

Applicant: Michael Chen, Mackenzie

Decisions Included: Design Review with SEPA, Process II
Land Use Code 20.30F

Planner: Mark Brennan, Associate Land Use Planner

State Environmental Policy Act
Threshold Determination: **Determination of Non-Significance (DNS)**
Carol V. Helland
Carol V. Helland
Environmental Coordinator

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: Carol V. Helland
Carol V. Helland, Land Use Director

Application Date: April 5, 2016
Notice of Application: May 12, 2016
14-day Comment Period: May 26, 2016
Decision Publication Date: December 8, 2016
Appeal Deadline: December 22, 2016

For information on how to appeal the project, visit the Permit Center at City Hall or call (425) 452-6864. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for the appeal deadline.

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ATTACHMENTS:

- SEPA Checklist
- Project Drawings

I. REQUEST/PROPOSAL DESCRIPTION:

A. Request

The applicant requests Design Review approval and a Threshold Determination under the State Environmental Policy Act (SEPA) to construct a one story building (Kelsey Creek Building E) on the parcel immediately to the southeast of the intersection of Main Street and 148th Avenue SE and adjoining the existing Kelsey Creek Center to the east and south of the site. Building E will have a gross floor area of 5,853 SF and be comprised of 3,828 SF of medical office, 1,898 SF of retail and a 127 SF utility room. This proposal will also include 26 parking stalls in a surface lot and associated site improvements. The site is located within a Neighborhood Business (NB) Land Use District.

The proposal to allow a medical office use and a retail use is consistent with the Neighborhood Business (NB) zoning provisions and is a permitted under LUC 20.10.440.

B. Review Process

LUC 20.251.020 indicates that all properties located in Neighborhood Business Districts are thereby also within the Commercial Retail Design District. Per LUC 20.251.030 all development activity within the Community Retail Design District must be reviewed through the Design Review Process as set forth in LUC 20.35.200.

A Design Review application is a Process II application with an administrative decision by the Director of Development Services (LUC 20.30F). The SEPA Determination is also a Process II with an administrative decision by the Environmental Coordinator. Appeals are heard and decided by the Hearing Examiner for Process II applications. Minor changes to the approved Design Review may be processed as a Land Use Exemption. **Refer to Condition of Approval regarding Modifications to Design Review in Section X.A.1.**

C. Proposal Description

The existing site is comprised of paving and building pad remnants from the abandoned gasoline service station previously located on the property. There are no known Critical Areas on site. The properties to the site's immediate north and west are zoned Neighborhood Business. Uses to the north of the site include a gasoline service station, small office buildings and a multi-unit housing development. Uses to the west of the site include a gas station and small-scale offices. Kelsey Creek Center is located to the south and east of the site, and is zoned Community Business.

The proposed Building E exterior will be designed to complement the architecture and design style found in the adjoining Kelsey Creek Center. Exterior materials will consist of cementitious plank and panel siding, split-face CMU block and pre-finished metal storefront windows and doors. Additional pre-finished metal components include exterior canopies and the coping detail at the top edge of the parapet walls.



Bird's Eye Perspective from Northwest

II. LAND USE CONTEXT AND ZONING:

A. Context:

1. Districts and Subarea

The site for the proposed Building E project is located within the East Bellevue Community Council District and is situated along the north edge of the Southeast Bellevue Subarea. The Wilburton 8th Street Subarea and Crossroads Subarea adjoin the site to its immediate north with 148th Avenue SE as the boundary between them. The project was presented to the East Bellevue Community Council on May 25, 2016 for an informational meeting.

2. Kelsey Creek Shopping Center

The site is located at the northwest corner of the existing Kelsey Creek Center at the intersection of 148th Avenue SE and Main Street. Both 148th Avenue SE and Main Street are high volume arterials. Kelsey Creek Center consists of an 11 acre shopping center and associated parking, as well as two separate buildings to the subject site's immediate east and south. To the east the site is adjacent to Kelsey Creek Building D, an 8,202 SF retail building constructed in 2012 and located at 14825 Main Street. To the south the site is adjacent to a 2,600 SF Starbucks building with a drive through constructed in 2013 and located at 180 148th Avenue SE

3. Neighborhood Gateway

The site's location on the intersection of two arterials as described above requires a Special Corner Feature to be developed at the northwest corner of

the site per LUC 20.25I.050.A. The Special Corner Feature will function as a neighborhood gateway through the incorporation of signage to signify the site's proximity to Kelsey Creek Center and the Kelsey Creek Tributary, a Type F stream which runs through the Lake Hills Greenbelt approximately 590 feet to the south of the site. The Special Corner Feature is described in detail in Section III E to follow.

B. Zoning:

The site is located within the Neighborhood Business (NB) Land Use District.

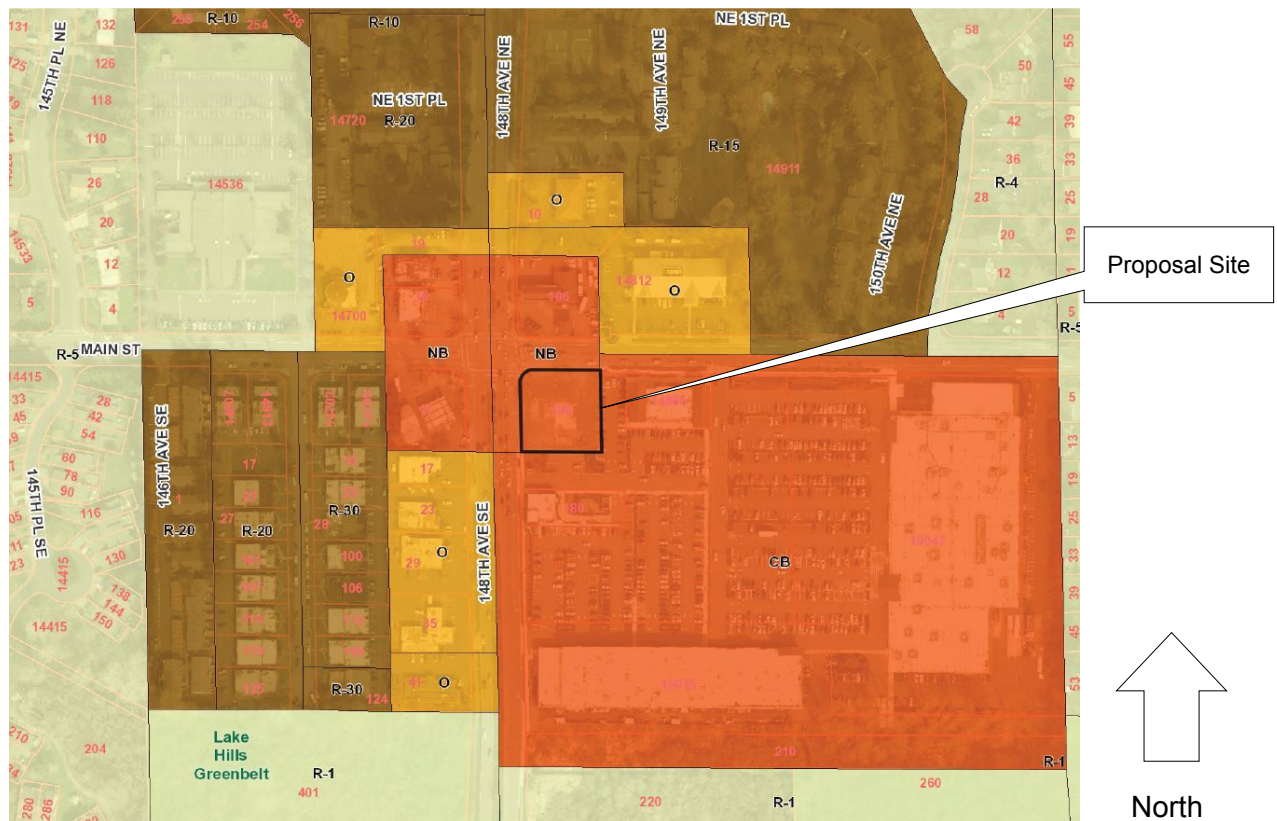
Adjacent Land Use Districts and Uses:

North: NB (Neighborhood Business) automotive service use across Main Street.

South: CB (Community Business) – Kelsey Creek Shopping Center.

East: CB (Community Business) – Kelsey Creek Shopping Center.

West: NB (Neighborhood Business) automotive service use across 148th Street SE.



Site Zoning Map

III. CONSISTENCY WITH LAND USE CODE REQUIREMENTS:

A. Use

Uses are regulated by Sections 20.10.400 (Land Use Charts), 20.25I (Community Retail Design District) and 20.30F (Design Review) of the Land Use Code. The proposed uses (medical office and retail) are permitted in the

Neighborhood Business Land Use District. The proposal is subject to Design Review approval because the site is located within a Community Retail Design District.

B. Dimensional Requirements/Statistical Information

All applicable dimensional requirements of the Land Use Code will be met. Refer to the following chart for specific information, as well as Conditions of Approval and the attached project drawings..

Item	Permitted/Required	Proposed
Site Area/Zone	22,066 Square Feet (SF) NB (Neighborhood Business) Land Use District in a Community Retail Design District	22,066 Square Feet (SF)
Building Height LUC 20.20.010	20 FT* *measured from average existing grade.	20 FT Meets LUC requirement.
Lot Coverage by Structure LUC 20.20.010	Site area: 22,066 SF Max. 35% = 7,723 SF	Structure area: 5,853 SF 26.5% Meets LUC requirement.
Maximum Impervious Surface LUC 20.20.010	Site area: 22,066 SF Max. 80% = 17,653 SF	Impervious surface area: 17,424 SF 79% Meets LUC requirement.
Setbacks LUC 20.20.010	<u>Front:</u> <ul style="list-style-type: none"> • (West) 148th Avenue SE: 0 FT from the property line • (North) Main Street 0 FT from the property line <u>Rear:</u> <ul style="list-style-type: none"> • South property line: 0 FT <u>Side:</u> <ul style="list-style-type: none"> • East property line: 0 FT 	<u>Front</u> (West) 148 th Avenue SE: 15.48 FT (North) Main Street 19.92 FT <u>Rear</u> South property line: 23.81 FT <u>Side:</u> East property line: 60 FT. Meets LUC requirement.

<p>Parking LUC 20.20.590</p>	<p>Tenant 1(Retail): 1,832 nsf x 5/1000 = 9 stalls minimum. Tenant 2 (Medical): 3,763 nsf x 4.5/1000 = 17 stalls minimum.</p> <p>Total stalls required = 26 (50% Compact)</p>	<p>19 standard stalls (2 accessible stalls) 7 compact stalls</p> <p>26 spaces on site TOTAL* 6 additional stalls off-site accessed through 16-138850-LJ</p> <p>*Refer to Access to Parking and Recycling and Solid Waste Collection Area following this table.</p> <p>Meets LUC requirement.</p>
<p>Recycling and Solid Waste Collection Area LUC 20.20.725 LUC 20.25I.040.B.4</p>	<p>Required area of recycling and solid waste collection area per LUC 20.20.725:</p> <ul style="list-style-type: none"> • 2 SF/1,000 SF Office 2 x 3.921.5 SF = 7.8 SF • 5 SF/1,000 SF Retail 5 x 1.931.5 SF = 9.7 SF <p>17.5 SF TOTAL required</p> <p>Refuse and recycling enclosures should be designed to be consistent with scale and architectural design of the primary structure per LUC 20.25I.040.B.4.</p>	<p>Refer to Condition of Approval regarding Recycling and Solid Waste Collection Area in Section X.A.2</p> <p>Recycling and solid waste collection area has an area of 8.5' x 12' = 102 SF (approx.) and is located off-site.*</p> <p>*Refer to Access to Parking and Recycling and Solid Waste Collection Area following this table.</p> <p>As conditioned, meets LUC requirement.</p>
<p>Landscaping LUC 20.20.520 BCC 14.60</p> <p>Street Frontage</p> <p>Interior Boundaries</p>	<p>Perimeter Landscape Requirements in NB Districts:</p> <p><u>Street Frontages - Type & depth:</u></p> <ul style="list-style-type: none"> • Type III 10 feet** <p><u>Interior Property Lines - Type & depth:</u></p> <ul style="list-style-type: none"> • Type III 10 feet** 	<p>** Refer to Alternative Landscape Option following this table.</p>

Surface Parking Areas Interior Irrigation R.O.W. Irrigation Soil Preparation R.O.W. Plant Selection/Street Trees Mechanical Equipment LUC 20.20.525	<u>Parking Lot: Type V**</u> Compliance with LUC 20.20.520, 20.25I.040.B and 20.25I.050.A, C and D. Provide R.O.W. irrigation plan. The applicant shall include a detail for soil preparation on the Clearing & Grading permit plans. Refer to Type 2 Soil Preparation Detail (attached) R.O.W. plantings and street trees to be consistent with existing plantings and street trees along 148 th Ave NE and Main Street.	Refer to Conditions of Approval regarding: <u>Landscape Installation Assurance Device</u> in Section X.D.3 and <u>Landscape Maintenance Assurance Device</u> in Section X.D.4. Refer to Condition of Approval regarding: <u>Final Landscape and Irrigation Plans</u> in X.B.3. Refer to Conditions of Approval regarding <u>R.O.W. Irrigation</u> in Section X.B.5. and <u>Street Trees</u> in Section X.A.7. & <u>Planting in the R.O.W</u> in Section X.B.4. As conditioned, meets LUC requirements
Mechanical Equipment LUC 20.20.525	Located on the roof & visually screened, within the bldg. or below grade.	Rooftop mechanical equipment to be located in the middle of the roof area. It will be screened with a parapet wall. Refer to Condition of Approval regarding <u>Mechanical Equipment Screening - - Building</u> in Section X.C.5. As conditioned, meets

		LUC requirements
Signs BCC 22B.10	Separate sign permits are required.	<p>Separate sign permits are required. Such signs shall be architecturally compatible with the building.</p> <p>Refer to Condition of Approval regarding <u>All Signage to Comply with the Bellevue Sign Code</u> in Section X.D.5.</p>

***Access to Parking and Recycling and Solid Waste Collection Area**

Access to required parking stalls, and the area for six additional parking stalls and the recycling and solid waste collection area is located on the parcel adjoining the site's south property line. As situated, this area requires an amended easement agreement processed through approval of Land Use Exemption under **16-138850-LJ Land Use Exemption Kelsey Creek Shopping Center.**

****Alternative Landscape Option**

The proposed landscaping for Building E does not meet the standard for landscape area and depth due to the site's parking lot configuration. The Alternative Landscaping Option (ALO) is being used to satisfy landscaping requirements per LUC 20.20.520.J. The ALO will include enhanced landscaping in type and size throughout the site, especially at the "Special Corner Feature" as described in Section D herein.

C. Community Retail Design District Design Guidelines (LUC 20.25I.040):

Building Design Guidelines:

- 1. All buildings within a multi-building complex should achieve a unity of design through the use of similar architectural elements, such as roof form, exterior building materials, colors, and window pattern.*

Finding: The building design gestures, materials and colors used on Building E are similar in type and quality with the architectural elements of the adjoining Kelsey Creek Center.

- 2. Individual buildings should incorporate similar design elements, such as surface materials, color, roof treatment, windows and doors, on all sides of the building to achieve a unity of design.*

Finding: The proposed Kelsey Creek Building E is a free-standing structure. The building achieves unity of design through a consistent application of architectural elements on all elevations, including surface materials, color,

roof treatment, windows and doors.

Site Design Guidelines:

1. *Where a perimeter landscape area required under LUC 20.20.520.F may be relocated under Note (1) of that section, some or all of the relocated area should be used to provide a landscaped courtyard. Any relocated landscape area should be visible from the public street. The courtyard should be protected from wind on two sides and in sun during part of the day. Seating shall be provided.*

Finding: Required landscaping along the site's east and south perimeter will not be possible given the proposal's parking configuration and relationship with the adjacent Kelsey Creek Center. The applicant is requesting approval of an Alternate Landscaping Option per LUC 20.20.520.J, which will provide higher quality and types of landscape plantings at available locations elsewhere on the site, particularly adjoining the Special Corner Feature as described in Section E of this report.

2. *Parking areas should be designed to minimize conflicts between pedestrian and vehicular movements. Parking area landscaping should be used to define and separate parking, access, and pedestrian areas within parking lots.*

Finding: The parking area for Building E has been designed to minimize conflicts between pedestrian and vehicular movements.

3. *The landscape design for the site should include plantings which emphasize the major points of pedestrian and vehicular access to the site.*

Finding: The proposed landscape plan for the Kelsey Creek Building E site provides plantings which emphasize the important attributes of the site, which include points of pedestrian and vehicular access as well as urban design significance, such as the corner feature.

4. *Site features such as fences, walls, trash/recycle enclosures and light fixtures should be designed to be consistent with the scale and architectural design of the primary structure(s). Such site features should be designed and located to contribute to the pedestrian environment of the site development.*

Finding: The principal site feature for Kelsey Creek Building E is the Special Corner Feature to be located at the intersection of 148th Avenue SE and Main Street as described in Section D below. The recycling and solid waste collection area will be located on the parcel adjoining the site to the south. This location is remote from pedestrian walkways and adjoining streets and will be screened by surrounding landscaping. The collection area will be defined as an enclosure clad with materials matching those on the building, such as split face CMU block, a pre-cast cap and metal gates painted to match the colors of the new building. **Refer to Condition of Approval regarding Recycling and Solid Waste Collection Area in Section X.A.2.**

5. *Loading areas should not be located between the building and the street unless there is no alternative location possible. Loading areas, if located between the building and the street, should be oriented away from the street and screened to minimize views of the loading area from the street and sidewalk. Loading areas should not be located on the side of a building which faces toward a residential use.*

Finding: There is no dedicated loading area proposed with the Kelsey Creek Building E project. The proposed building will have two tenants, a medical clinic and retail use. These uses and their modest scale suggest deliveries to the site will be made by vehicles requiring little to no separate area of operations. **Refer to Condition of Approval regarding Provisions for Loading in Section X.A.6.**

6. *In multiple-building complexes, buildings should be located to facilitate safe and comfortable pedestrian movement between buildings. On sites which are adjacent to other properties within the Community Retail Design District, building location should be chosen to facilitate pedestrian and vehicular connections to buildings on those adjacent properties.*

Finding: The proposed Kelsey Creek Building E location has been chosen to facilitate pedestrian and vehicular connections to the existing buildings in the Kelsey Creek Center.

7. *In locations and districts specifically described in the Comprehensive Plan Urban Design Element Figure UD.1, consideration should be given to locating buildings closer to the public street with entrances to the buildings from the public sidewalk with no intervening parking or driving area. Corner locations are particularly appropriate for this treatment.*

Finding: The site is located on the Comprehensive Plan Urban Design Element Figure UD.1. Kelsey Creek Building E will be located close to the intersection of 148th Avenue SE and Main Street but set back from the public sidewalks on both frontages to provide landscaping and the Special Corner Feature as described in Section D below. Site walkways provide pedestrian access from the public sidewalk to the building's entrance, which is located on the side of the building facing its parking area.

8. *Opportunities should be found for safe, convenient, and pleasant pedestrian connections to existing transit facilities. Where needed, shelters and lay-bys for transit vehicles should be incorporated into the site development.*

Finding: The project site is located within 300 feet of King County Metro bus stops along both sides of Main Street across 148th Avenue SE to the west. ADA accessible routes of travel will be provided from Building E's entrance to the public sidewalks along 148th and Main Street respectively.

D. Community Retail Design District Design Standards (LUC 20.25I.050):

Special Corner Feature

If the property is located at the intersection of two arterial streets, the site development shall incorporate a special corner feature at the corner of the site. A special corner feature can be a landscape feature, seasonal color planting area, sculpture or water feature. The feature should provide a visual landmark and some amount of seating area. If the property is not located at an intersection, a similar feature should be considered in conjunction with a transit stop or at the primary access point to the site.

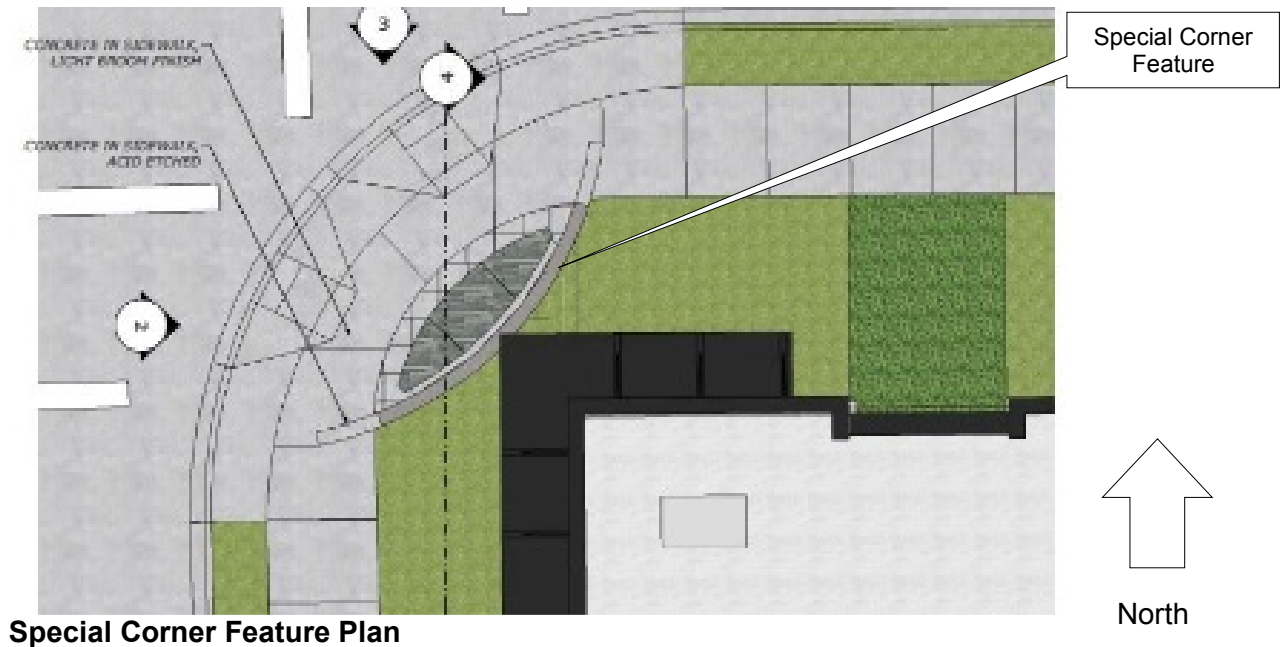
Finding: The Special Corner Feature for the project is located at the property's northwest corner as it meets the intersection of 148th Avenue SE and Main Street. The feature is comprised of a seat wall and adjoining landscaping that signify the location's proximity to Kelsey Creek proper as well as the adjacent shopping center that bears the creek's name.

The seat wall is composed of two parts: A 4 foot tall wall curves inward from its ends to create a space for a seat or "bench" curved outward toward the intersection. The wall and seat base will be made from cast concrete with an acid etch finish. The bench seating surface will be bluestone. On the wall behind the bench the words "Kelsey Creek Center" will be inset into the wall's finish with stainless steel letters. This sign will be illuminated from below by a continuous LED fixture during evening hours.

The landscape at the corner feature has been designed to be more substantial in size and variety than elsewhere on the site and includes plantings such as multi-trunk dwarf magnolia trees, evergreen huckleberry, dwarf strawberry and overdam feather reed grass. **Refer to Condition of Approval regarding All Signage to Comply with the Bellevue Sign Code in Section X.D.5.**



Special Corner Feature Image from Intersection



Building Design Standards:

1. *The design of buildings shall incorporate elements such as special architectural details, distinctive color schemes, special art and other features, which are sensitive to and enhance the surrounding area and serve to distinguish the complex from other retail complexes in the City.*

Finding: The Southeast Bellevue area is a mix of older development and renewed development. The scale, color scheme, and design of the new Kelsey Creek Building E is consistent with other new buildings of the same type in the area, and will provide a welcome addition to a previously abandoned site.

2. *The sides of a building which face toward a public street shall include public entrances to the building and windows to provide visual access to the activity within the building.*

Finding: Kelsey Creek Building E has two street frontages. The building's exterior windows will provide visual access from the public streets to the activity within, primarily that portion of the building which will be occupied by a retail use.

3. *The sides of a building which face toward an adjoining property, but not toward a public street, shall include elements such as windows, doors, color, wall texture or landscape to provide visual interest and prevent the development of a long continuous blank wall.*

Finding: Building E is designed with a consistent architectural language on all sides, including those that face the adjoining parcels making up Kelsey Creek Shopping Center. The specific elements of the building's elevations

include lap and panel fiber cement siding, split-face concrete masonry units (CMU), pre-finished metal storefront windows, canopies, coping and panel joints. The entry to Building E is located on the façade oriented toward the shopping center, resulting in a highly visible and clearly defined access location.

4. *Building design shall provide for architecturally integrated signage. Signs shall be in proportion to the development and oriented to the main direction access and to pedestrian movement. Signs shall meet the requirements of Chapter 22B.10 BCC, Bellevue Sign Code.*

Finding: Building E has been designed with specific areas for signage located on the elevations at building corners. These locations are aligned at a consistent height to integrate potential signage with Building E's architectural language. **No cabinet signs are permitted. Refer to Condition of Approval All Signage to Comply with the Bellevue Sign Code in Section in X.D.5.**

Internal Walkways:

The following design standards apply within the Community Retail Design District:

1. *Walkways, of six feet in width minimum, shall be provided from the public sidewalk or right-of-way to the building. At a minimum, walkways shall be located to connect focus points of pedestrian activity such as transit stops and street crossings to the major building entry points.*

Finding: A 6 foot wide walkway connects the entrance of Building E with the public sidewalk along 148th Avenue SE. This walkway provides pedestrian access from the site's parking area as well as the bicycle racks located along its length.

2. *Walkways shall be provided to connect with walkways or potential walkway locations on adjoining properties in the district to create an integrated internal walkway system along the desired lines of pedestrian travel. The width of the walkway should be commensurate with the anticipated level of pedestrian activity along the connecting walkway.*

Finding: Pedestrian access from Building E will be provided by site walkways to the public sidewalks along 148th Avenue SE and Main Street. The public sidewalks connect the site with adjoining properties to encourage pedestrian use. Widths of on-site walkways will be commensurate with the level of pedestrian activity anticipated.

3. *Internal walkway surfaces shall be designed to be visually attractive and distinguishable from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, or scored concrete to enhance pedestrian safety and comfort.*

Finding: Interior walkways are proposed to be concrete and are generally surrounded by landscaping.

Other Development Standards:

1. *Rooftop equipment shall be visually screened pursuant to LUC 20.20.525. The design and color of rooftop mechanical equipment should be integrated with the building architectural style.*

Finding: Rooftop equipment will be screened by a parapet around the building. **Refer to Condition of Approval regarding Mechanical Equipment Screening - - Building in Section X.C.5.**

2. *The outdoor display of building materials and similar bulky products shall be screened from views from the street, sidewalk and properties outside the district with a durable, solid wall or fence, or an evergreen hedge or a combination of the above. The screening requirement does not apply to the display of seasonal products of a decorative nature such as bedding plants, Halloween pumpkins, and holiday greens.*

Finding: No outdoor display areas are proposed.

3. *Bicycle racks shall be provided on-site. Facilities for a minimum of 10 bicycles shall be provided for developments having 100 or fewer parking stalls. For each 100 additional stalls, facilities for five additional bicycles shall be provided.*

Finding: One 10-bike "loop rack" is provided near the southeast corner of the building. This location for the bike rack will not interfere with the pedestrian experience.

IV. STATE ENVIRONMENTAL POLICY ACT (SEPA):

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist together with information submitted (in the official file) adequately discloses expected environmental impacts associated with the proposal. The City codes and requirements, including SEPA, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements. Adverse impacts which are less than significant are typically subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary.

For other adverse impacts which are less than significant, Bellevue City Code, Section 22.02.140, provides substantive authority to mitigate impacts disclosed through the environmental review process.

The following amendments to the Environmental Checklist are provided by the City of Bellevue.

Transportation

Long Term Impacts and Mitigation

The long-term impacts of development projected to occur in the City by 2027 have been addressed in the City's 2016 – 2027 Transportation Facilities Plan FEIS Addendum. The impacts of growth that are projected to occur within the City by 2027 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's 2016 - 2027 Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Kelsey Creek Building E lies within MMA #9 (East Bellevue), which has a 2027 total growth projection of 6,294 square feet of office and 1,121 square feet of retail. This development proposes 3,800 square feet of medical office and 2,027 square feet of miscellaneous retail. The volume of proposed development is within the assumptions of the Transportation Facilities Plan FEIS Addendum for office development. It is recognized that the TFP projections fall short in terms of the miscellaneous retail proposed land use; however, the TFP is updated every two years at which time land use projections can be updated to meet current growth trends. With this considered, the long-term transportation impacts are fully mitigated by payment of traffic impact fees, as described below.

Traffic impact fees are used by the City to fund street improvement projects and to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. The project site is the former site of a service station with convenience market. For the purpose of impact fee calculation, credit is given for the previous use service station that was demolished. The impact fee credit from the previous use exceeds the impact fee for the proposed use; therefore, the applicant will not be required to pay an impact fee. **Refer to Condition of Approval regarding Transportation Impact Fee in Section X.C.1.**

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. The Kelsey Creek Building E development proposes 3,800 square feet of medical office and 2,027 square feet of miscellaneous retail. The Kelsey Creek Building E will generate approximately 15 new p.m. peak hour trips and, therefore, will not trigger concurrency requirements.

Short Term Operational Impacts and Mitigation

City staff analyzed the short term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Issues that were analyzed included access location and design, sight distance, and onsite circulation.

The parcel for this development is located on the southeast corner of 148th Avenue SE and Main Street, and is the remaining undeveloped portion of the Kelsey Creek Center shopping center. Since the site was a former service station, there are three existing driveways providing access to the site, including two driveways on Main Street and one driveway on 148th Avenue NE; all existing driveways will be removed. The development proposes only one access driveway on Main Street, located approximately 105 feet east of the intersection. Due to the proximity of this driveway to the intersection, it will be restricted to right turns in and right turns out only.

The development connects internally to the larger Kelsey Creek Center, which includes Walmart and LA Fitness. The primary entrance to the Kelsey Creek Center on Main Street, located approximately 360 feet east of the intersection, is currently operating at a level of service (LOS) D with a 29.5 second delay per vehicle as shown in the Traffic Impact Study by Transportation Solutions, Inc. To mitigate the impact of potentially adding trips to this congested access point, the driveway and drive aisle will be widened to 32 feet wide to allow for a separate left and right turn lane to exit the site. Left turns onto Main Street require more time for available gaps and currently cause greater delays for users who are turning right onto Main Street. The separated left and right turn lanes will improve the level of service at this existing driveway.

The access design shall meet the sight distance requirements of BCC 14.60.240. Vegetation shall be trimmed as needed within the sight triangle. Design of the pedestrian areas and driveways must meet the requirements of BCC 14.60.240 and 14.60.241. At the primary shopping center driveway on Main Street, the existing sign will be relocated outside of the sight triangle to maintain available sight distance.

The results of the short-term traffic analysis are published in the Kelsey Creek Building E Traffic Impact Study, October 14, 2016, by Transportation Solutions, Inc. The study is included in the Transportation Department file for this development.

Earth

The site consists of a rectangular area of 0.51 acres (22,066 SF). The site is bordered to the west by 148th Avenue SE, to the north by Main Street, and to the east and south by existing parking areas for Kelsey Creek Center.

The site contains no buildings but retains paving from its previous use as a gasoline service station. The site is flat with an overall elevation difference of less than 3 feet.

According to the geotechnical report written by PMF Associates and submitted with this application, the geology of the site is mantled on the surface by advance and recessional outwash, stratified drift and associated deposits which are primarily silt, sand and gravel with some clay. The soil probably includes alluvium locally and scabland deposits from eastern Washington.

Groundwater was encountered during field explorations in 2010 and 2011. The geotechnical report provides recommendations for site preparation, the installation of structural fill, placement of foundations, slab-on-grade construction and soil compaction.

There is potential for erosion and sedimentation impacts as a result of the earth movement activities. Applicants and permittees are responsible for preventing erosion and discharge of sediment and other pollutants into the storm and surface water system and receiving waters. A Construction Stormwater Pollution Prevention Plan (CSWPPP) prepared according to the Washington State Department of Ecology Management minimum technical requirement # 2, will be required at time of Clearing and Grading permit application for each of the development phases. (Bellevue City Code 23.76)

By incorporating within the construction permits, the requirements of existing codes and standards, the recommendations included in the geotechnical report, use of Best Management Practices for temporary erosion and sedimentation control, and rainy season restrictions, it is expected that anticipated impacts to earth resources will be adequately mitigated.

Surface Water

The project does not include work within or near any surface water body, nor will groundwater be withdrawn or discharged. As such, water impacts are not anticipated to result from this project. Water run-off will occur from the impervious paved surfaces, the building roof top and to a lesser extent from landscaped areas. On-site stormwater will be collected in a series of catch basins that will be routed through a treatment chain consisting of settlement pipe and storm filter vault prior to release into the existing public storm sewer system located within the adjacent right-of-way.

Air Quality

During construction, emissions to the air will be released by construction vehicles and heavy equipment. Following construction, emissions from truck deliveries, customers and employees will be released.

Construction would temporarily increase dust and vehicle emissions near the construction area. Mitigation will include using BMPs to control dust, covering exposed soils, and requiring idling vehicles to be shut off. Construction vehicles will be fitted with required, factory-installed emission control devices. To reduce the potential of dust, construction accesses will be covered with rock or aggregate. Dust emissions will also be reduced during construction through the use of spray water as necessary during dry weather conditions and planting disturbed areas with erosion control seed mix as soon as is practical. Material stockpiles will also be covered or watered as necessary to control dust. These

are standard practices imposed on the Clearing & Grading permit (Bellevue City Code 23.76).

Plants and Animals

88% of the site is covered by existing impervious surface. Upon completion of the project, the site's overall impervious surface will be reduced to 79%. The applicant proposes a generous amount and diversity of plant material for the project. These new native and ornamental plantings will provide more opportunity for animals (typical urban animals such as squirrels, moles), and native birds to utilize the site. See attached plans.

Noise

As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday, except for Federal holidays and as further defined by the Bellevue City Code. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Written requests for exemption from the Noise Control Code must be submitted two weeks prior to the scheduled onset of extended hour construction activity. The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses. These standard requirements are imposed with the construction permits (Bellevue City Code 9.18). **Refer to Condition of Approval regarding Noise and Construction Hours in Section X.A.3.**

Light and Glare

There is the potential for light and glare due to building and site lighting fixtures. In order to mitigate potential impacts, any light source emitting from the project area shall be designed so as not to provide light and glare and spillover offsite. **Refer to Condition of Approval regarding Light and Glare in Section X.A.4.**

V. SUMMARY OF TECHNICAL REVIEWS:

A. Clear and Grade

The Clear and Grade Reviewer reviewed the plans and materials submitted for this project and determined that clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with City of Bellevue Clearing and Grading Code (BCC 23.76).

B. Utilities

1. Utility Department approval of the design review application (16-128897 LD) is based on the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Arturo Chi (425) 452-4119

2. The water, sewer, and storm drainage systems shall be designed per current City of Bellevue Utility Codes and Utility Engineering Standards. All design review, plan approval, and field inspection shall be performed under the Utility Developer Extension Agreements.

AUTHORITY: BCC Title 24.02, 24.04, 24.06
REVIEWER: Arturo Chi (425) 452-4119

C. Fire Department

Fire Department approval of the design review application (16-128897 LD) is based on the conceptual design only. Fire has reviewed and approved the design review.

D. Transportation Department

Site Access

The project site is located on the southeast corner of 148th Avenue SE and Main Street. The parcel is the remaining undeveloped portion of the Kelsey Creek shopping center, located right at the corner of the intersection, the northwest portion of the shopping center. The project is the site of a former service station with convenience market. The site has three existing driveways that will all be removed with development of the site.

The development proposes one access driveway on Main Street, located approximately 105 feet east of the intersection. Due to the proximity of this driveway to the intersection, it will be restricted to right turns in and right turns out only. Typically in order to restrict left turns, c-curb is installed at the centerline of the street. However, c-curb will not be installed at this time because it would limit access to the businesses to the north. Therefore, the driveway will be signed as right turn only for exiting vehicles and a treatment, such as a raised curb island, will be applied the routes vehicles into a right turning movement. The proposed driveway connects internally to the Kelsey Creek Center and the other shopping center driveways can be utilized to enter and exit the site.

All loading and unloading, delivery, garbage and recycling services must be contained within the project site. No portion of the city right of way may be used for these services. **Refer to Condition of Approval regarding Vehicular Access Restrictions in Section X.A.5.**

Street Frontage Improvements

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the

Transportation Department Design Manual. **Refer to Condition of Approval regarding Street Frontage Improvements in Section X.D.1.**

1. The existing curb, gutter, sidewalk, and driveways on the 148th Avenue SE and Main Street frontages shall be removed. An eight foot wide sidewalk and a minimum four foot wide continuous planter strip is required to be installed along both 148th Avenue SE and Main Street. Currently, there is a city project under construction at the southeast corner of 148th Avenue SE and Main Street and includes the installation of new curb ramps. The proposed street frontage improvements will match into the city improvements at the corner. A street lighting analysis was completed for both frontages and showed that existing lighting is adequate and meets current standards. As such, no additional street lighting will be installed with this development. If street lighting or equipment must be relocated, an updated analysis must be provided.
2. The proposed driveway connecting to Main Street shall have an approach width of 26 feet. The driveway apron design shall be consistent with standard drawing DEV-7D or DEV-7E such that the sidewalk will remain at grade through the driveway. This driveway will be restricted to right turns only and signing shall be installed. Since the installation of c-curb is not recommended at this time because it will limit access for other businesses, a treatment, such as a raised curb island, will be applied to direct vehicles into a right turn as determined during the technical review of the clearing and grading permit. The maximum driveway grade is limited to 7% for the first 30 feet, and a maximum of 15% thereafter. A stop sign and stop bar will be provided at the proposed driveway and installed per Standard Drawings TE-21A and TE-21B.
3. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements.

ADA also requires provision of a safe travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Installation of colored or textured bands to guide pedestrians in the direction of travel is advisable, subject to the requirements for non-standard sidewalk features.

ADA-compliant curb ramps shall be installed where needed, consistent with City and WSDOT standard drawings. If such standards cannot be met, then deviation from standards must be justified on a Design Justification Form to be filed with the Transportation Department.

4. The design and appearance of the sidewalk and landscaping shall comply with the standards and drawings in the Transportation Department Design Manual, including standard drawings TE-10 and TE-11. The sidewalk shall

be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, unless both the Transportation Department and the Development Services Department agree to accept any non-standard pattern, color, or other features.

Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements.

If the developer requests alternative paving materials, samples must be submitted for review. If approved, any non-standard patterns, colors, or other features may be installed only if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features.

5. Spray irrigation is required within the landscaping planter strip. Irrigation shall be fed from a private metered water source, unless the Review Engineer approves a city-owned connection. A 6-inch sleeve for irrigation under all driveway crossings and a 4-inch sleeve under sidewalk crossings is required to be installed. Electrical connections for lighting in planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk. Flexible mesh root barriers are required to be installed at the front and back of the landscaping planter, installed at a minimum depth of 18 inches. The soil profile depth shall accommodate the tree root ball with a minimum depth of 18 inches.
6. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
7. To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. To the extent feasible, no utility vaults may be located within the primary walking path in any sidewalk.
8. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawings DEV-7D and DEV-7E. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post.
9. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement. Existing power has already been relocated underground.

Easements

The applicant shall provide sidewalk and utility easements to the City as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. Any negative impact that this development has on

existing easements must be mitigated or easements relinquished. **Refer to Condition of Approval regarding Existing Easements in Section X.C.3.**

Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible. **Refer to Condition of Approval regarding Sidewalk/Utility Easements in Section X.C.4.**

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding Right-of-Way Use Permit in Section X.B.1.**

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Near this project, 148th Avenue SE and Main Street have been classified as standard trench restoration as specified in Standard Drawings ROW-1, ROW-4, and ROW-9. **Refer to Condition of Approval regarding Pavement Restoration in Section X.D.2.**

VI. PUBLIC NOTICE:

Application Date:	April 5, 2016
Notice of Application:	May 12, 2016
Minimum Comment Period:	May 26, 2016

The minimum required public comment period ended May 26, 2016. However, comments were accepted up to the date of this decision. No written comments, emails or phone calls were received of a general or specific inquiry. There are no parties of record.

VII. CHANGES TO THE PROPOSAL RESULTING FROM DESIGN REVIEW:

A. Building Exterior:

1. Exterior glazing has been designed to provide more transparency at the building's northwest corner adjoining the special corner feature.
1. Potential signage locations have been aligned along a consistent horizontal datum. **Refer to Condition of Approval All Signage to Comply with the Bellevue Sign Code in Section X.D.5.**
2. Façade materials have been applied to express the building's architectural language in a visually clear manner.
3. The vertical joints between exterior cementitious panels have been aligned with adjoining window mullions to unify façade expression.

B. Special Corner Feature:

1. The curved geometry of the corner feature seat wall is consistent with the other three corners at the intersection of 148th Avenue SE and Main Street to establish a unified urban design gesture.
2. The wall curves inward away from the street corner to provide a generous pedestrian walking area and space for a bench seat facing the intersection.
3. The corner feature anchors the building to the immediate context of the intersection as well as the broader context of Kelsey Creek Shopping Center and the Kelsey Creek Tributary to the south.

C. Site Landscaping:

1. Plantings have been located on the site to add emphasis to specific contextual circumstances. As an example, the landscaping adjoining the corner feature includes native and ornamental trees and shrubs of greater size and variety than installed elsewhere on the site. This gesture assists in establishing the corner feature as an important neighborhood marker within the City's urban fabric.
2. The Alternative Landscaping Option has been effectively utilized on this site, as through its implementation plantings have been concentrated in the area adjoining the corner feature.

D. Access Driveway:

1. The access driveway between the site and the parcel to the east has been removed to provide for a larger area of landscaping adjacent to the Main Street right-of-way.
2. Through the removal of this access drive the vehicular travel path on this site and the parcel adjacent has been simplified, resulting in less vehicular conflicts and potential accidents.

VIII. DECISION CRITERIA FOR DESIGN REVIEW:

The Director may approve or approve with modifications an application for Design Review if:

The proposal is consistent with the Comprehensive Plan:

The Comprehensive Plan identifies the site for Kelsey Creek Building E as being located in a Neighborhood Business District within the Southeast Bellevue Subarea. This project responds to the policies applicable to the Southeast Subarea and the general Urban Design policies of the City of Bellevue as follows:

POLICY S-SE-7. Expand uses in neighborhood commercial districts to better serve the needs of surrounding neighborhoods by allowing for a variety of retail, office and residential uses; provided that the character and level of development is of a low intensity which is compatible with the adjacent residential districts.

Finding: The Kelsey Creek Building E project adds a medical office and retail use at a vacant parcel on an intersection of two neighborhood arterial streets. The proposed building will be easily accessible for pedestrians as well as vehicles. Building E's architectural character is compatible with the buildings in the existing Kelsey Creek Center adjacent, and the building's scale is consistent with the low density development appropriate for residential districts nearby.

POLICY S-SE-8. Require upgrading of buildings and landscaping of all existing retail and office development areas to meet current City standards.

Finding: The existing site for the proposed Kelsey Creek Building E project is a vacant parcel previously used as a gasoline service station. Through construction of Building E and its adjoining landscaping the site will be developed to meet current City standards. In addition, the project will substantially improve the existing site use and appearance, thereby functioning as an upgrade to the existing Kelsey Creek Center.

POLICY UD-4. Create a safe, engaging and attractive pedestrian environment throughout the city using appropriate urban design features.

Finding: With the development of the Kelsey Creek Building E project the City of Bellevue will gain an appropriate urban design gesture with the special corner feature located at the intersection of 148th Avenue SE and Main Street. This feature will engage the pedestrian environment through an attractive composition of hardscape and landscape elements and plantings as described previously in Section E of this report. **Refer to Condition of Approval Mechanical Equipment Screening - - Site in Section X.C.6.**

POLICY UD-69: Design key city boulevards to be distinctive from other streets and to reinforce the image of Bellevue as a "City in a Park." Use features such as gateways, street trees, median plantings, special lighting, separated and wider sidewalks, crosswalks, seating, special signs, street names, landscaping, decorative paving patterns and public art both within the right-of-way and on adjacent private development.

Finding: 148th Avenue SE is identified a City Boulevard. This distinction is acknowledged by the Kelsey Creek Building E project through the development of the corner feature as a "gateway" element and by the street tree and plantings selections proposed for the landscape area adjoining the 148th right-of-way.

POLICY UD-71: Enhance neighborhood shopping streets to act as the local "main street" with exceptional landscaping, increased pedestrian and bicycle facilities and neighborhood specific character elements.

Finding: Both 148th Avenue SE and Main Street are defined as Shopping Streets in the immediate vicinity of the site and Kelsey Creek Shopping Center. Bicycle racks are provided on site near Building E and, in combination with the pedestrian-focused corner feature and associated landscaping, enhance the “main street” character sought through implementation of this Policy.

IX. DECISION OF THE DIRECTOR:

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Development Services Department Director does hereby **APPROVE WITH CONDITIONS** the subject proposal.

X. CONDITIONS OF APPROVAL:

The following conditions are imposed under authority referenced:

Compliance with Bellevue City Codes and Documents

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including but not limited to:

<u>Applicable Codes, Standards & Ordinances</u>	<u>Contact Person</u>
Clearing & Grading Code – BCC 23.76	Janney Gwo, (425) 452-6190
Construction Codes – BCC Title 23	Building Division, (425) 452-6864
Fire Code – BCC 23.11	Sean Nichols, (425) 452-2926
Land Use Code – BCC Title 20	Mark C. Brennan, (425) 452-2973
Noise Control – BCC 9.18	Mark C. Brennan, (425) 452-2973
Sign Code – BCC Title 22	Mark C. Brennan, (425) 452-2973
Right-of-Way Use Code 14.30	Tim Stever, (425) 452-4294
Transportation Develop. Code – BCC 14.60	Vanessa Humphreys, (425) 452-2569
Utility Code – BCC Title 24	Arturo Chi, (425) 452-4119
Street Trees	Tom Kuykendall, (425) 452-7924

A. GENERAL CONDITIONS: The following conditions apply to all phases of development.

1. Modifications to Design Review:

Any modification to this approval shall be documented as an Amendment to this Design Review OR as an addition or revision to this issued land use approval, processed as a Land Use Exemption. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance of this report. Conditions of Approval run for the life of the project.

AUTHORITY: LUC 20.30F.175
REVIEWER: Mark C. Brennan, Land Use

2. Recycling and Solid Waste Collection Area:

All pick-up functions will be handled on-site and no rights of way and public and private easements shall be occupied by trash receptacles, dumpsters, recycling bins or other such items.

All trash receptacles shall be screened from view by adjacent properties. A detail of the enclosure for the trash receptacles shall be included with any future building permit(s). All lids for any solid waste and/or recycling receptacles must be made of molded plastic or other sound buffering material.

Any trash receptacles (dumpsters) must be returned to the enclosure immediately after pick-up and may not be left on the sidewalk or in the parking lot.

Medium to tall shrubs shall be placed around the enclosure in an informal manner to further screen it from adjacent properties.

AUTHORITY: LUC 20.20.725, 20.25B.040.F
REVIEWER: Mark C. Brennan, Land Use

3. Noise and Construction Hours:

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. No deliveries shall be scheduled prior to 7:00 a.m. or after 6:00 p.m. Exceptions for construction-related noise limitations contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. No blanket exemption exists. Allowances for short term work outside of normal hours for construction-related noise shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses, properties and neighborhoods. If expanded hours are necessary to accommodate a specific component of the construction, the applicant must apply for a separate noise permit for review and approval by Land Use staff. In this time period, the site shall be posted on all street frontages prior to the start of the specific construction activity.

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: BCC 9.18.020.C & 9.18.040
REVIEWER: Mark C. Brennan, Land Use

4. Light and Glare:

There is the potential for light and glare with the site lighting at night. The applicant shall submit a detailed design for all building exterior lighting. Lighting shall be contained to this site and not be permitted to spill-over to adjacent sites. All exterior building lighting is required to include cut-off shields to minimize impacts of light and glare.

AUTHORITY: LUC 20.20.522
REVIEWER: Mark C. Brennan, Land Use

5. Vehicular Access Restrictions:

Access to this site from the proposed driveway on Main Street will be restricted to right-turn-in and right-turn-out only. This will be achieved through installation of signage, and as specified in the final civil engineering plans for the development.

AUTHORITY: BCC 14.60.150
REVIEWER: Vanessa Humphreys (425) 452-2569

6. Provisions for Loading:

The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4; BCC 14.60.180
REVIEWER: Vanessa Humphreys (425) 452-2569

7. Street Trees:

The street tree species to be used along Main Street is *Ulmus parvifolia* 'Elmer II' (Allee elm). Along 148th Ave SE the street tree species to be used is *Acer platanoides* 'Parkway'. Prior to ordering any street tree, confirm cultivar with City of Bellevue Parks Department. Contacts are:

- Tom Kuykendall, tkuykendall@bellevuewa.gov, 425-452-7924, or
- Melissa Kerson, mkerson@bellevuewa.gov, 425-452-4100

AUTHORITY: LUC 20.20.520
REVIEWER: Mark C. Brennan, Land Use

B. PRIOR TO CLEARING & GRADING PERMIT: These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

1. Right-of-Way Use Permit:

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.
- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30
REVIEWER: Tim Stever (425) 452-4294

2. Civil Engineering Plans - - Transportation:

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans include, but are not limited to:

- a) The applicant is required to remove the existing curb, gutter, sidewalk, and driveways along both street frontages (148th Avenue SE and Main Street), and install an 8 foot wide sidewalk, curb, gutter, and a minimum 4 foot wide landscaping planter. The street frontage improvements shall match into the city project at the corner currently under construction. A street lighting analysis was completed for both frontages and showed that existing lighting is adequate and meets current standards. As such, no additional street lighting will be installed with this development. If street lighting or equipment must be relocated, an updated analysis must be provided. The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.
- b) The proposed access driveway on Main Street must be a minimum of 26 feet wide and be consistent with Standard Drawings DEV-7D or DEV-7E. These details keep the sidewalk at-grade across the driveway. This driveway will be restricted to right turns only and signing shall be installed. Since the installation of c-curb is not recommended at this time because it will limit access for other businesses, a treatment, such as a raised curb island, will be applied to direct vehicles into a right turn as determined during the technical review of the clearing and grading permit. The maximum driveway grade is limited to 7% for the first 30 feet, and a maximum of 15% thereafter.

- c) A stop sign and stop bar will be provided at the proposed driveway and installed per Standard Drawings TE-21A and TE-21B.
- d) Spray irrigation is required within the landscaping planter strip. Irrigation shall be fed from a private metered water source, unless the Review Engineer approves a city-owned connection. Installation of a 6-inch irrigation sleeve under all driveway crossings and a 4-inch irrigation sleeve under sidewalk crossings is required. Electrical connections for lighting in planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk. Flexible mesh root barriers are required to be installed at the front and back of the landscaping planter, installed at a minimum depth of 18 inches. The soil profile depth shall accommodate the tree root ball with a minimum depth of 18 inches.
- e) No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
- f) To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. To the extent feasible, no utility vaults may be located within the primary walking path in any sidewalk.
- g) No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawings DEV-7D and DEV-7E. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post. The relocation of above-grade utilities and signing will be required as needed to ensure compliance.
- h) No new overhead utility lines will be allowed within or across any right of way or sidewalk easement. Existing power has already been relocated underground.
- i) Show the required sight triangles and include any sight obstructions, including those off-site. Sight distance triangles must be shown at all driveway locations and must consider all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance. The sight distance setback lines must be shown on the clearing and grading engineering plans as described in Standard Drawing TE-1 and TE-3. Above-grade utilities and other roadside appurtenances must be relocated as needed to ensure sight distance requirements are met.
- j) Pavement and trench restoration as specified in the right of way use permit. The restoration limits must be shown on the clearing and grading plans. The Transportation Inspector may adjust limits based upon field conditions.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Design Justification Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: BCC 14.60; Transportation Department Design Manual;
Americans with Disabilities Act
REVIEWER: Vanessa Humphreys (425) 452-2569

3. **Final Landscape and Irrigation Plans:**

Final landscape and irrigation plans shall be submitted and approved under the Clearing and Grading permit application to ensure compliance with all Land Use Code requirements.

If any trees are required to be removed due to sight distance requirements at the driveway, they must be identified on this plan and replacement trees at a 3:1 ratio shall be identified and located on this plan.

AUTHORITY: LUC 20.20.520 and 20.25B.040.C
REVIEWER: Mark C. Brennan, Land Use

4. **Planting in the R.O.W.:**

- a) Planting shall be done according to the Parks and Community Services Department Environmental Best Management Practices and Design Standards in place at the time of construction.
- b) Soil: Provide at least 24" of soil prepared in the ROW. per the City of Bellevue document "Type 2 Soil Preparation" attached.
- c) A Parks Department representative shall be on-site to inspect street trees prior to planting and at the time of planting to observe the installation. Contact Parks Department Resource Management at (425) 452-6855 at least 24 hours before planting to schedule the inspection.

AUTHORITY: LUC 20.20.520
REVIEWER: Mark C. Brennan, Land Use

5. **Right-of-Way Irrigation:**

- a) Right-of-Way: Any irrigation system for all landscaping within the City right-of-way will be on a **separate meter and controller** which can be accessed 24 hours a day by the City and shall remain separate from the on-site systems. The applicant will be required to construct the irrigation service line, setter and pay for the meter installation and associated connection charges for this meter.
- b) The irrigation system shall include automatic operations and rain sensors

to override the automatic cycle if needed. Coordinate the exact location with the Parks Department prior to irrigation installation and submit proof that the irrigation design for the right-of-way has been approved by the Parks Department prior to building permit issuance. If the irrigated area exceeds 500 square feet, then the landscape irrigation budgeting section of the Water Code applies.

- c) Drip irrigation will **not** be allowed in the right-of-way planting strip. Schedule 40 irrigation pipe is required in the right-of-way and there shall be a minimum 4-inch diameter sleeves under all new sidewalks and driveways.
- d) A private irrigation service line(s) is required for all on-site landscape areas. The Utilities Department is responsible for reviewing all irrigation designs.
- e) Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. As-built drawings shall be submitted to the City of Bellevue Parks Department and Land Use. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
- f) Irrigation shall be designed per the Parks and Community Services Department Environmental Best Management Practices and Design Standards. Prior to Clearing and Grading Permit approval, the final irrigation plan must be reviewed and approved by the City of Bellevue Utilities and Parks Departments.
- g) Parks Department Contacts:
 - Tom Kuykendall, tkuykendall@bellevuewa.gov or (425) 452-7925; or
 - Melissa Kerson, mkerson@bellevuewa.gov or (425) 45204100

AUTHORITY: BCC 24.02.205, LUC 20.20.520

REVIEWER: Mark C. Brennan, Land Use

C. PRIOR TO ISSUANCE OF BUILDING PERMIT: Unless specified otherwise below, these conditions must be complied with on plans submitted with the Building Permit Application:

1. Transportation Impact Fee:

Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Removal of existing buildings will be eligible for impact fee credit. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16

REVIEWER: Vanessa Humphreys (425) 452-2569

2. Building and Site Plans - - Transportation:

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs

and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060; 110; 120; 150; 180; 181; 190; 240; 241
REVIEWER: Vanessa Humphreys (425) 452-2569

3. Existing Easements:

Any utility easements contained on this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: BCC 14.60.100
REVIEWER: Tim Stever (425) 452-4294

4. Sidewalk/Utility Easements:

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: BCC 14.60.100
REVIEWER: Vanessa Humphreys (425) 452-2569

5. Mechanical Equipment Screening - - Building:

Plans submitted for building permit application shall indicate locations of all mechanical equipment and demonstrate that screening is provided so that these items are not visible from adjacent streets, public sidewalks and park/open space areas.

AUTHORITY: LUC 20.20.525
REVIEWER: Mark C. Brennan, Land Use

6. Mechanical Equipment Screening - - Site:

Power, telephone, traffic control, and/or other equipment shall not be located in above ground cabinets in sidewalk areas. Such equipment shall be located in underground vaults, in the building, or substantially screened per the approval of Land Use.

AUTHORITY: LUC 20.20.525 & .650
REVIEWER: Mark C. Brennan, Land Use

D. PRIOR TO TCO/CO: The following conditions of approval shall be satisfied prior to issuance of ANY Temporary Certificate of Occupancy (TCO) or Certificate of Occupancy (CO):

1. Street Frontage Improvements:

All street frontage improvements and other required transportation elements, including street light and traffic signal revisions, must be constructed by the applicant and accepted by the Transportation Department inspector. All existing street light and traffic signal apparatus affected by this development,

including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-58; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.
REVIEWER: Vanessa Humphreys (425) 452-2569

2. Pavement Restoration:

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

- 148th Avenue SE and Main Street are both currently listed as requiring standard trench restoration as specified in the right of way use permit. Currently, neither street frontage is listed as an overlay candidate through 2020.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #23
REVIEWER: Tim Stever (425) 452-4294

3. Landscape Installation Assurance Device:

If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation, the applicant shall file with Land Use a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed. The assurance device will be released upon complete installation and inspection approval.

AUTHORITY: LUC 20.40.490
REVIEWER: Mark C. Brennan, Land Use

4. Landscape Maintenance Assurance Device:

The applicant shall file with the DSD a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all landscaping on the site.

AUTHORITY: LUC 20.40.490
REVIEWER: Mark C. Brennan, Land Use

5. All Signage to Comply with the Bellevue Sign Code:

- a) This Design Review approval addresses the *conceptual* design of signage only and does not include approval of the design of any specific

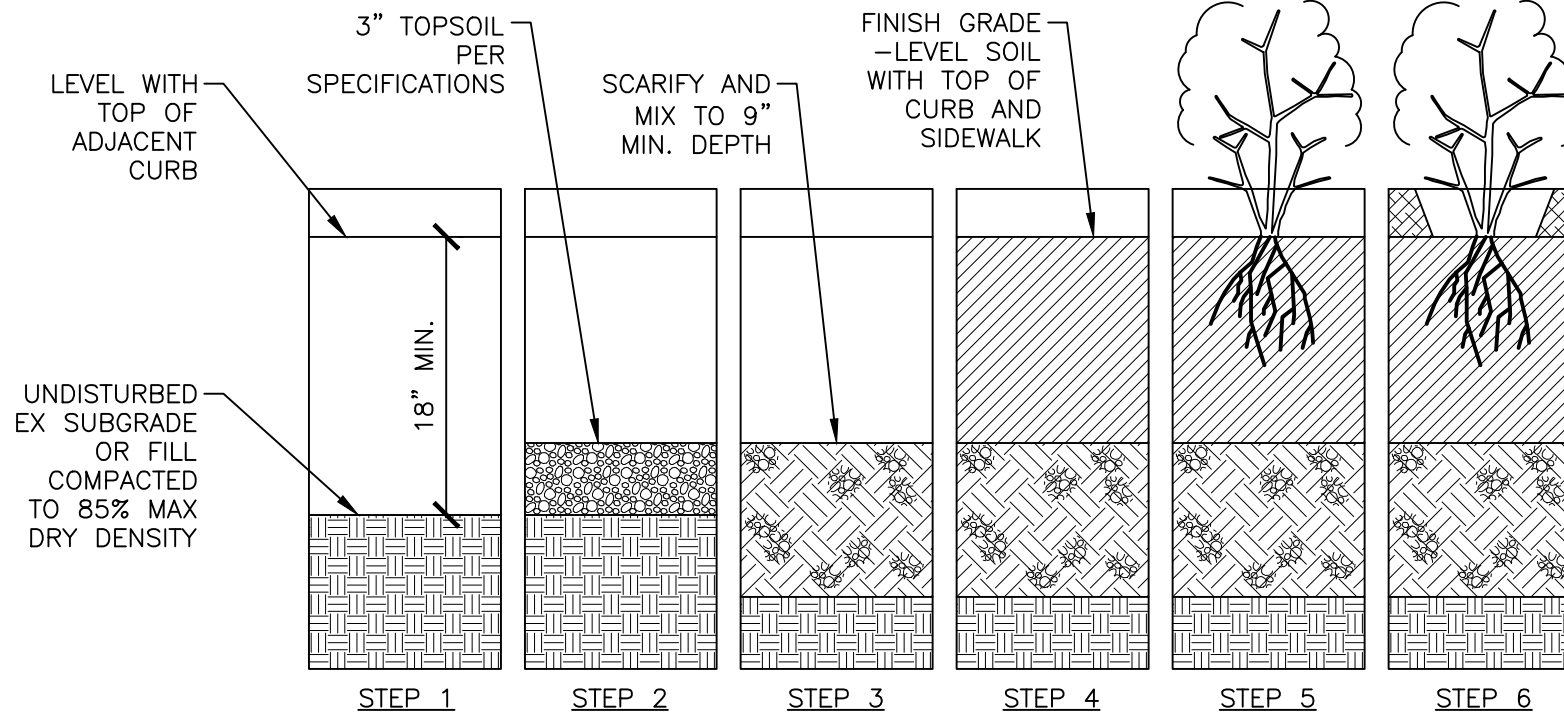
sign(s). Design review of each sign and compliance with the Sign Code will occur through review of each Sign Permit application.

b) The sign package plans, elevations, and/or sketches shall include but are not limited to:

- Location
- Illumination
- Color and Materials
- Design (no cabinet or freestanding signs are permitted)

AUTHORITY: LUC 20.25A.110, LUC 20.30F, BCC 22B.10.025.B.4 and 10.030

REVIEWER: Mark C. Brennan, Land Use



TYPE 2 PREPARATION SEQUENCE:

STEP	DESCRIPTION
1	EXCAVATE EX SOIL TO 18" MIN. DEPTH BELOW FINISH GRADE. AVOID UNDERMINING NEARBY FEATURES.
2	INSTALL 3" DEPTH FINE COMPOST.
3	SCARIFY TOPSOIL TO A 9" DEPTH. ENGINEER SHALL REVIEW & APPROVE SCARIFICATION PRIOR TO PROCEEDING TO STEP 4.
4	INSTALL 15" MIN. DEPTH TOPSOIL TYPE A AND REVIEW FINISH GRADE WITH ENGINEER PRIOR TO PLANTING.
5	INSTALL PLANTS, MATERIALS & IRRIGATION PER SPECIFICATIONS.
6	INSTALL 1½" DEPTH MULCH PER SPECIFICATIONS (NO WOOD CHIPS)

NOTES:

1. ALL DIMENSIONS INDICATE COMPACTED DEPTHS. TOPSOIL TYPE A & MULCH SHALL BE COMPACTED TO 85% DRY DENSITY.
2. INCREASE DEPTH OF EXCAVATION & TOPSOIL TO ACCOMODATE TREE ROOT BALL DEPTHS OF 18"–30".
3. MOUND TOPSOIL IN PLANTER STRIPS AND MEDIANS PER SPECIFICATIONS.



**City of
Bellevue**

TITLE:

TYPE 2 SOIL PREPARATION

DRAWING #:	PK-IM-XX
SCALE:	N.T.S.
REVISION DATE:	08-2015
DEPARTMENT:	PARKS

MARK BRENNAN

ENVIRONMENTAL CHECKLIST

4/5/16

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit or call the Permit Center (425-452-6864) between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4). Our TTY number is 425-452-4636.

BACKGROUND INFORMATION

Property Owner: *Kelsey Creek Center LLC*

Proponent: *Kelsey Creek Center LLC*

Contact Person: *Michael Chen, Mackenzie*

(If different from the owner. All questions and correspondence will be directed to the individual listed.)

Address: *500 Union Street, Suite 545, Seattle, WA 98101*

Phone: *(206) 749-9993*

Proposal Title:

Kelsey Creek Center Building E

Proposal Location:

(Street address and nearest cross street or intersection) Provide a legal description if available.

106 148th Avenue SE, located at the SE corner of the 148th Avenue SE and Main Street intersection.

Parcel #'s: 352505-9057

Legal Description: N 180 FT OF W 200 FT OF NW 1/4 OF SW 1/4 LESS N 30 FT & LESS W 50 FT FOR CO RDS LESS ST

Please attach an 8 1/2" x 11" vicinity map that accurately locates the proposal site.

Give an accurate, brief description of the proposal's scope and nature:

1. General description:

DESIGN REVIEW APPROVAL OF A MIXED-USE OFFICE & RETAIL BUILDING OF 9,000 SF WITH 26 PARKING SPACES, LANDSCAPE & AMENITIES.
Design Review and Site Plan Review for the Kelsey Creek Center Building E.
PER LUC 20.251 COMMUNITY RETAIL DESIGN DISTRICT

2. Acreage of site:

0.51 acres

Received

APR 5 2016

3. Number of dwelling units/buildings to be demolished:

Permit processing

None; no buildings are proposed to be demolished with this proposal. The previous Shell gas station was demolished several years ago after a fire broke out.

4. Number of dwelling units/buildings to be constructed:

One new single story building will be constructed as part of this proposal.

5. Square footage of buildings to be demolished:

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None; no buildings are proposed for demolition.

6. Square footage of buildings to be constructed:

Building E: 5,853 square feet

7. Quantity of earth movement (in cubic yards): *Approximately 850 CY.*

8. Proposed land use: *Neighborhood Business*

9. Design features, including building height, number of stories and proposed exterior materials:

Building E: single story, architectural element heights do not exceed 24 feet in height

Design features include variations in building elevation, and changes in color and texture to provide visual interest and complexity to the façade's articulation. Earth-toned exterior materials include hardi-plank siding and granite tile accent for building bases (see elevations submitted with this application).

10. Other:

The site is approximately 0.52 acres, vehicular circulation/access points have been established with the redevelopment of the overall Kelsey Creek Center.

Estimated date of completion of the proposal or timing of phasing:

Design Review Approval: Summer 2016

Commercial Building Permit for Building E: Fall 2016

Clearing & Grading Permit: Fall 2016

Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

None at this time.

List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

- *Washington Department of Ecology NFA*
- *Cleanup Action Report*
- *Stormwater Analysis*
- *Traffic Impact Study*
- *Geotechnical Evaluation*

Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. List dates applied for and file numbers, if known.

None known.

List any government approvals or permits that will be needed for your proposal, if known. If permits have been applied for, list application date and file numbers, if known.

Design Review

Building and Clearing/Grading Per

Right of Way Permits

LAND USE EXEMPTION: 16-138850-LJ JULY 29, 2016

Please provide one or more of the following exhibits, if applicable to your proposal.

(Please check appropriate box(es) for exhibits submitted with your proposal):

☐ Land Use Reclassification (rezone) Map of existing and proposed zoning

☐ Preliminary Plat or Planned Unit Development
Preliminary plat map

☒ Clearing & Grading Permit
Plan of existing and proposed grading
Development plans

☒ Building Permit (or Design Review)
Site plan
Clearing & grading plan

☐ Shoreline Management Permit
Site plan

A. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site: ☒ Flat

☒ Steep slopes ☐ Hilly

☐ Mountains

Site is generally flat.

b. What is the steepest slope on the site (approximate percent slope)?

67% of the site is sloped less than 4%, 23% of the site sloped 4% - 10%, and 10% of the site is sloped greater than 10%. The majority of the slope greater than 10% is adjacent to swales.

c. What general types of soil are found on the site (for example, clay, sand, gravel, peat, and muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

The site is mantled on the surface by advance and recessional outwash, stratified drift, and associated deposits which are primary silt, sand, and gravel with some clay. The soil probably includes alluvium locally and scabland deposits.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No.

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

The proposed project will utilize on-site materials excavated during the clear and grade process for fill in the areas of the parking lot where we will need to increase the grade from the existing elevations.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Erosion due to construction activities could occur, but will be minimized through the implementation of an approved erosion control plan. The plan will be approved by the City of Bellevue prior to commencing construction activities on this site.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 79% or 17,510 square feet of the site will be covered with pervious surfaces after project construction.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Erosion will be minimized through the implementation of an approved erosion control plan. The plan will be approved by the City of Bellevue and implemented prior to commencing construction activities on this site.

2. AIR

a. What types of emissions to the air would result from the proposal (i.e. dust, automobile odors, and industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Dust and emissions generated from construction equipment will be present over the short-term during construction activities. Long term air emissions associated with this proposal include exhaust from automobiles typical of retail and office uses.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known.

c. Proposed measures to reduce or control emissions or other impacts to the air, if any:

Emissions will be consistent with allowed limits set by state and local air quality authorities.

3. WATER

a. Surface

(1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There is no water body on the subject site, but within the vicinity (east of the site) Kelsey Creek flows from the south to the north across the property. Larsen Lake and some associated wetlands are located to the south of the subject site. Kelsey Creek ultimately outfalls into Lake Washington.

SOUTH OF THE SUBJECT

(2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If Yes, please describe and attach available plans.

No, the project site is not within 200 feet of the described waters.

(3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

(4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No.

(5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- (6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground

- (1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description.

No.

- (2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.) Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None.

c. Water Runoff (Including storm water)

- (1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater will be treated to meet water quality and flow control standards and then released into the City's storm drainage system located in the 148th Avenue right-of-way. The storm system discharges to the south to a tributary to Kelsey Creek.

- (2) Could waste materials enter ground or surface waters? If so, generally describe.

It is possible that waste materials could enter ground or surface waters in the case of an accidental spill during construction activities.

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

An approved stormwater plan will be implemented for the proposed development in compliance with City standards for stormwater management. Stormwater runoff from the parking lot and drive lanes will drain to a catch basin discharging to an underground system consisting of wet storage, storm filter system, and detention providing the needed water quality and flow control.

4. Plants

a. Check or circle types of vegetation found on the site:

☐ deciduous tree: alder, maple, aspen, other

☐ evergreen tree: fir, cedar, pine, other

☒ shrubs

☒ grass

☐ pasture

☐ crop or grain

☐ wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other

☐ water plants: water lily, eelgrass, milfoil, other

☐ other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

The existing site is mostly paved asphalt and concrete with some small shrubs and grass along the perimeter of the site. Additional landscaping is proposed as shown on the landscape and planting plan submitted with this application.

c. List threatened or endangered species known to be on or near the site.

None known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Approximately 26% of the site is proposed to be landscaped. An approved landscape plan will be implemented to re-vegetate the site.

5. ANIMALS

a. Check or circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

☐ Birds: hawk, heron, eagle, songbirds, other: songbirds

☐ Mammals: deer, bear, elk, beaver, other: mice

☐ Fish: bass, salmon, trout, herring, shellfish, other: none

b. List any threatened or endangered species known to be on or near the site.

None known.

c. Is the site part of a migration route? If so, explain.

The site is part of the Pacific Flyway. The Pacific Flyway extends along the west coast of the United States, and extends from Mexico into northern Canada and Alaska.

d. Proposed measures to preserve or enhance wildlife, if any:

None needed.

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy need? Describe whether it will be used for heating, manufacturing, etc.

Electricity and natural gas could be used to heat the proposed facilities. In addition, electricity will be used to

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power office equipment, including lighting, and electronics.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

This proposal will not impact neighboring properties' abilities to utilize solar energy.

c. What kinds of energy conservation features are included in the plans of the proposal? List other proposed measures to reduce or control energy impacts, if any:

The buildings will be designed to include energy conservation measures required by current building codes, which include proper insulation and ventilation. The project will also implement electricity saving features such as high output, low consumption lighting.

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

No.

(1) Describe special emergency services that might be required.

Emergency services will be required to serve proposed development. These services include police, fire, and medical services common to commercial retail uses.

(2) Proposed measures to reduce or control environmental health hazards, if any.

None.

b. Noise

(1) What types of noise exist in the area which may affect your project (for example, traffic, equipment, operation, other)?

Traffic from surrounding streets and retail commercial uses.

(2) What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example, traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Construction noise, on a short-term basis, during daylight hours, and consistent with local and state noise regulations. Long term noise would come from automobiles/traffic.

(3) Proposed measures to reduce or control noise impacts, if any:

The noises anticipated from the site are typical for this area and require no additional mitigation. Therefore, none are proposed.

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties?

The existing site is vacant; the last use was a Shell gas station. The adjacent property located on the corner of the 148th Avenue SE and Main Street intersection is retail (76 gas station). Property to the north includes retail, office, multi-family and single-family residential. Property to the south is retail (Starbucks). Property to the east is retail (Kelsey Creek Center) and property to the west is office and retail (includes Chevron gas station).

b. Has the site been used for agriculture? If so, describe.

It is unknown if the site has been used for agriculture; it has not been used for agriculture since development in the 1960's.

c. Describe any structures on the site.

No structures exist on site.

d. Will any structures be demolished? If so, what?

No structures are proposed to be demolished.

e. What is the current zoning classification of the site?

The property is zoned Neighborhood Business.

IT IS LOCATED IN THE COMMUNITY RETAIL DESIGN DISTRICT PER LUC 20.251

f. What is the current comprehensive plan designation of the site?

Neighborhood Business Center (NB)

g. If applicable, what is the current shoreline master program designation of the site?

Not applicable.

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Not to our knowledge.

i. Approximately how many people would reside or work in the completed project?

Approximately 10 employees will work at the center when the project is complete.

j. Approximately how many people would the completed project displace?

None.

k. Proposed measures to avoid or reduce displacement impacts, if any:

None.

i. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The proposed development is subject to review by the City of Bellevue for consistency with land uses and compatibility with their plans and codes. This approval will be required before the project can proceed.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

No housing would be provided.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

No units are to be eliminated.

- c. Proposed measures to reduce or control housing impacts, if any:

None, not applicable.

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

No taller than 24 feet. The principal exterior building material will be hardi-plank siding and CMU base.

- b. What views in the immediate vicinity would be altered or obstructed?

None.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Impacts to aesthetics will be addressed by implementing the landscape plan and the architectural design of the buildings. PER THE DESIGN REVIEW PROCESS - JUL 20. 30F

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Light and glare typical of a commercial retail development will occur from parking lot and building lighting. These impacts will occur primarily during hours of darkness.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

Lighting will be shielded to minimize impacts on surrounding properties. It will not pose a safety hazard or interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?

None known.

- d. Proposed measures to reduce or control light or glare impacts, if any:

Lighting will be shielded and directed to minimize impacts to surrounding properties.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

The Lake Hills Greenbelt abuts the property to the south. Additionally, there are several parks in general vicinity of the proposed development.

Spiritwood Park is 0.92 miles to the NW

Kelsey Creek Park is 0.75 miles to the SW

Crossroads Park and Community Center is 0.81 miles to the NE

Hillaire Park is 0.52 miles to the NE

Evergreen Park is 0.54 miles to the SE

Lake Hills Community Park is 0.91 miles to the SE

b. Would the proposed project displace any existing recreational uses? If so, describe.

None.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None.

13. Historic and Cultural Preservation

a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.

None known.

b. Generally describe any landmarks or evidence of historic, archeological, scientific, or cultural importance known to be on or next to the site.

None.

c. Proposed measures to reduce or control impacts, if any:

Not applicable.

14. Transportation

a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

Existing access to the site is provided by Main Street along the northern property line, and 148th Avenue SE along the western property line. The existing driveways on the west side of the property (along 148th Avenue SE) will be eliminated. Access to the site from 148th Avenue SE will be provided by the existing driveway/aisle adjacent to Starbucks. There will be a right-in and right-out driveway on the north side of the site along Main Street.

b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?

Yes, there are transit stops along both (148th Avenue SE and Main Street) street frontages.

c. How many parking spaces would be completed project have? How many would the project eliminate?

The completed proposal will have 26 parking stalls.

d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

No new roads or streets are proposed.

e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

The proposal will generate approximately 162 new trips.

g. Proposed measures to reduce or control transportation impacts, if any:

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The project will pay applicable TIFs.

15. Public Services

- a. Would the project result in an increased need for the public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

Police, fire, and health care will be needed to serve the proposed site.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Comply with state safety regulations for construction sites. The development will be subject to property taxes and levies to support emergency services and schools.

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

All, with the exception of septic system.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Water: City of Bellevue

Sanitary Sewer: City of Bellevue

Electricity: Puget Sound Energy (PSE)

Refuse Service: Allied Waste Services

Natural Gas: Puget Sound Energy (PSE)

Telephone: CenturyLink

Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature.....

Date Submitted...April 5, 2016.....

S:\Washington\Bellevue\PMF\KELSEY CREEK\2DWGS\BWK105 UE GD LD.dwg Oct 17, 2016 - 7:58am

LEGEND

- ON-SITE STD DUTY PAVEMENT
- ON-SITE HEAVY DUTY PAVEMENT
- ON-SITE CONCRETE PAVEMENT
- ON-SITE CONCRETE SIDEWALK PAVEMENT
- LANDSCAPING
- OFF-SITE CONCRETE PAVEMENT
- OFF-SITE SIDEWALK PAVEMENT
- OFF-SITE ASPHALT PATCH
- GRIND AND OVERLAY ASPHALT
- RIPRAP
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- SAWCUT
- # NUMBER OF PARKING STALLS PER ROW
- △ NUMBER OF KELSEY CREEK CENTER STALLS PER ROW, 9 STALLS TOTAL
- C DENOTES COMPACT STALL

SITE KEY

- (A) SAWCUT
- (B) 18" CONCRETE CURB AND GUTTER
- (C) FLEXIBLE ASPHALT PATCH WITH INCREASED PATCH WIDTH AS DIMENSIONED. RESTORE ALL ROADWAY MARKINGS AND CHANNELIZATION LINES IN KIND.
- (D) 8' WIDE OFF-SITE CONCRETE SIDEWALK
- (E) CITY OF BELLEVUE INTERSECTION IMPROVEMENTS
- (F) FLEXIBLE ASPHALT PATCH. RESTORE ALL ROADWAY MARKINGS AND CHANNELIZATION LINES IN KIND.
- (G) SANITARY SEWER LATERAL
- (H) WATER SERVICE
- (I) CONCRETE COMMERCIAL DRIVEWAY APPROACH
- (J) FLUSH CURB
- (K) LANDSCAPING
- (L) TRASH ENCLOSURE W/ CONCRETE PAD (DRAIN TO SANITARY SEWER) SEE ARCHITECTURAL PLANS
- (M) OIL/WATER SEPARATOR
- (N) BIORETENTION SWALE
- (O) STORM TREATMENT SYSTEM
- (P) ASPHALT PAVING
- (Q) ON-SITE CONCRETE SIDEWALK
- (R) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE)
- (S) TAPER WIDTH TO CONNECT TO EXISTING CONCRETE WALK
- (T) EXPOSED CONCRETE CURB AND GUTTER
- (U) STOP SIGN PER WSDOT STANDARDS
- (V) MUTCD ARROW MARKING
- (W) VARIABLE CURB HEIGHT, SEE C-2.0 FOR LOCATIONS
- (X) CURB SCUPPER
- (Y) BICYCLE PARKING, SEE ARCHITECTURAL PLANS
- (Z) LANDSCAPE PAVERS, SEE LANDSCAPE PLANS
- (AA) MOUNTABLE CURB ISLAND
- (AB) 4' WIDE LANDSCAPE STRIP, SEE LANDSCAPE PLANS
- (AC) GRIND AND OVERLAY EXISTING ASPHALT
- (AD) HEAVY DUTY ASPHALT PAVEMENT

SITE DATA

SITE AREA: 0.51 AC (22,066 SF)
ZONE: COMMERCIAL
LAND USE CLASSIFICATION: NB WITH COMMUNITY RETAIL DESIGN
MAX LOT COVERAGE (35%): 7,723 SF
PROVIDED LOT COVERAGE: 5,853 SF
MAX IMPERVIOUS SURFACE (80%): 17,653 SF
PROVIDED IMPERVIOUS SURFACE: 17,424 SF
BUILDING: 5,853 SF
OVERHANGS WITHOUT SIDEWALK: 456 SF
OVERHANGS WITH SIDEWALK: 493 SF
SIDEWALK AREA WITHOUT OVERHANG: 1,047 SF
PARKING/TRASH: 8,400 SF
OFF-SITE SIDEWALK: 1,175 SF

PGIS AREA: 8,021 SF
NON-PGIS AREA: 14,045 SF

BENCH MARK

HORIZONTAL DATUM: HORIZONTAL DATUM AND BASIS OF BEARINGS IS NAD 1983 (1991) PER INFORMATION PUBLISHED BY THE CITY OF BELLEVUE. WE HELD THE WEST ¼ CORNER OF SECTION 35 (COB 0089) FOR POSITION AND THE BEARING OF SOUTH 00°13'35" EAST TOWARD THE SOUTHWEST CORNER OF SECTION 35 (COB 0099).

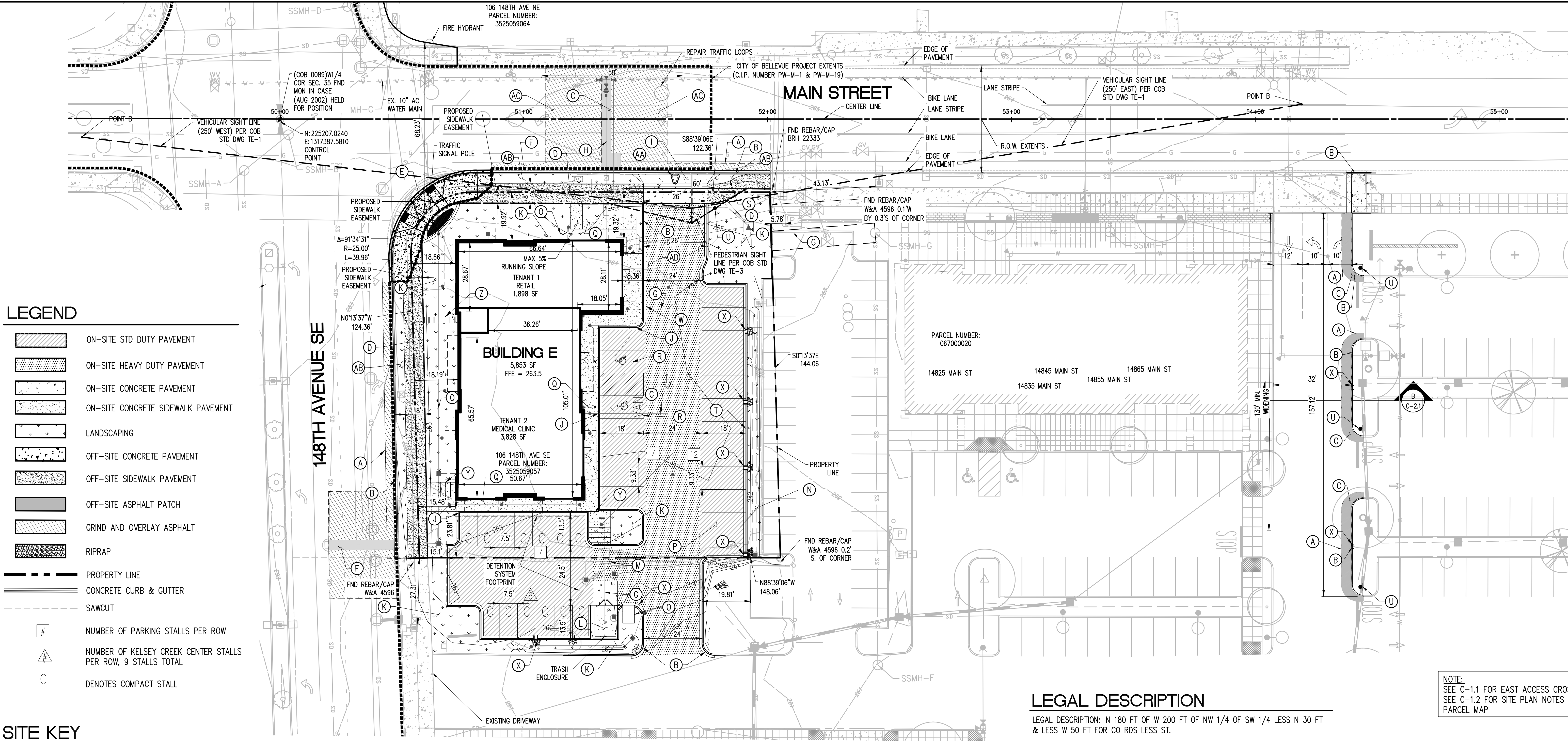
VERTICAL DATUM: VERTICAL DATUM FOR THIS SURVEY IS NAVD88 PER CITY OF BELLEVUE. CITY OF BELLEVUE BENCHMARK NO. 580 WAS HELD WITH AN ELEVATION OF 263.734'.



KELSEY CREEK CENTER, LLC
106 148TH AVENUE SE
BELLEVUE, WA 98007

SITE PLAN B

C-1.0



LEGAL DESCRIPTION

LEGAL DESCRIPTION: N 180 FT OF W 200 FT OF NW 1/4 OF SW 1/4 LESS N 30 FT & LESS W 50 FT FOR CO RDS LESS ST.

BUILDING DATA

TENANT 1	= 1,898 SF
TENANT 2	= 3,828 SF
UTILITY ROOM	= 127 SF
BUILDING E	= 5,853 SF

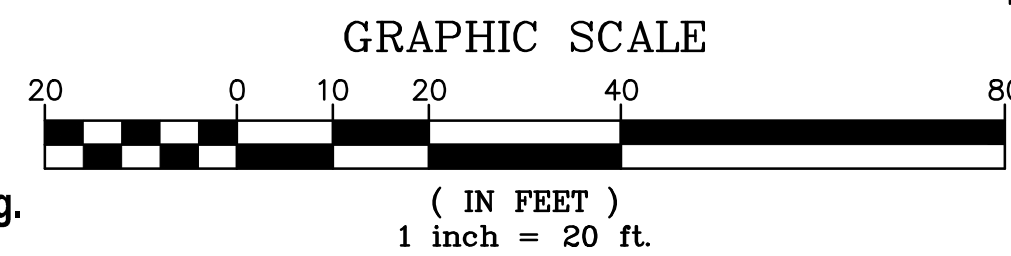
PARKING DATA

REQUIRED PARKING	
BUILDING E:	
TENANT 1 (RETAIL) - 5.0 / 1000 SF	= 9 STALLS
TENANT 2 (MEDICAL) - 4.5 / 1000 SF	= 17 STALLS
TOTAL REQUIRED STALLS (50% COMPACT)	= 26 STALLS
PROPOSED PARKING	
TENANT 1 TOTAL STALLS	= 9 STALLS
TENANT 2 TOTAL STALLS	= 17 STALLS

STANDARD STALLS (9.33'x18')	= 17 STALLS
"C" COMPACT STALLS (7.5'x15.5')	= 7 STALLS
ADA STALLS (9.33'x18')	= 2 STALLS
TOTAL STALLS	= 26 STALLS
PROPOSED PARKING RATIO = 4.5 / 1000 SF (27% COMPACT)	
"C" KELSEY CREEK CENTER STALLS	= 6 STALLS

SETBACKS

PER CITY OF BELLEVUE ZONING CODE	
FRONT	= 0'
REAR	= 0'
SIDE	= 10'
THERE ARE NO EASEMENTS OR CRITICAL AREAS ON THE PROPERTY	

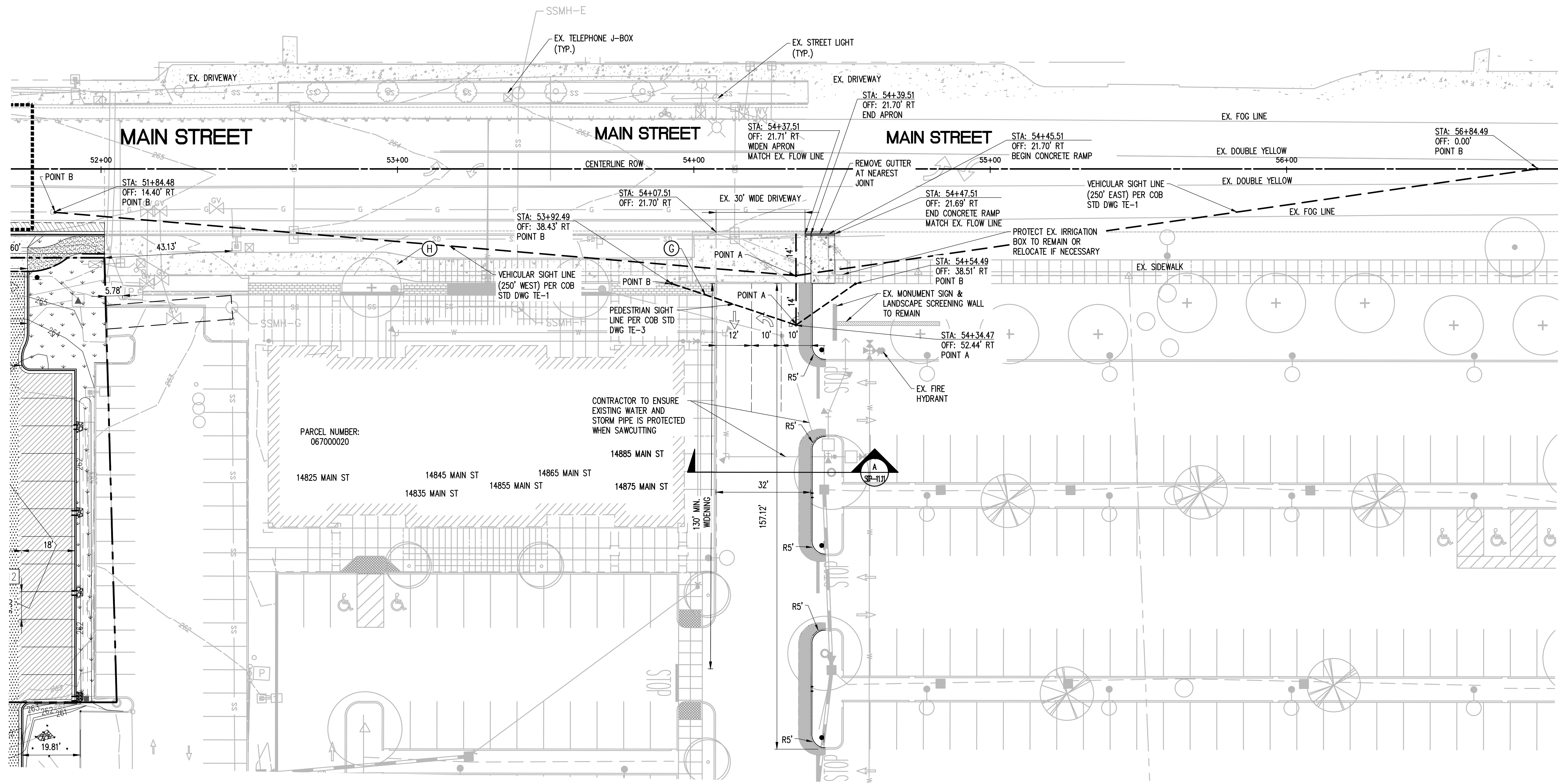


PERMIT #16-128897 LD
GRID #K-8 SEC. 35, TWP 25 N, RGE 5 E, W.M.

No.	Date	By	Revision Description

Designed By:	Issue Date:
JAC	10/14/16
Drawn By:	
WL	PERMIT
Checked By:	Project No:
JAC	10-336-006

S:\Washington\Bellevue\PMF\KELSEY CREEK\2DWGS\BWK105 UE GD.dwg Oct 17, 2016 - 7:36am

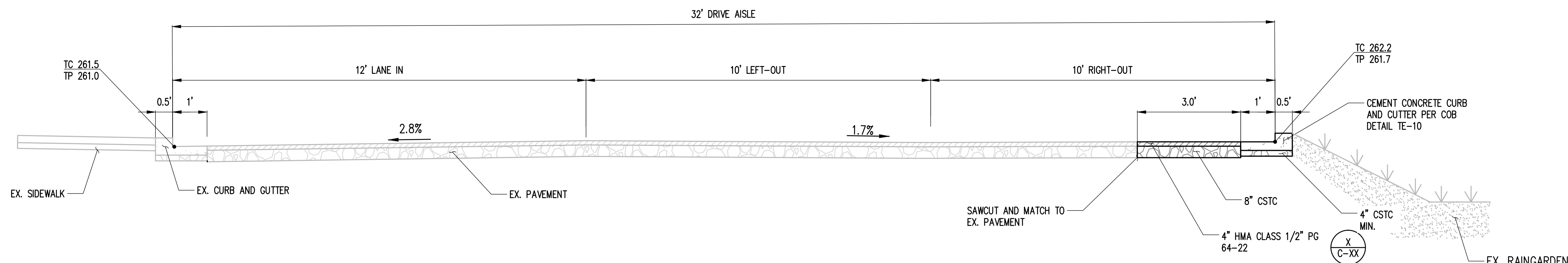


LEGEND

- ON-SITE STD DUTY PAVEMENT
- ON-SITE HEAVY DUTY PAVEMENT
- ON-SITE CONCRETE PAVEMENT
- ON-SITE CONCRETE SIDEWALK PAVEMENT
- LANDSCAPING
- OFF-SITE CONCRETE PAVEMENT
- OFF-SITE SIDEWALK PAVEMENT
- OFF-SITE ASPHALT PATCH
- GRIND AND OVERLAY ASPHALT
- RIPRAP
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- SAWCUT
- NUMBER OF PARKING STALLS PER ROW
- NUMBER OF KELSEY CREEK CENTER STALLS PER ROW, 9 STALLS TOTAL
- DENOTES COMPACT STALL

SITE KEY

SEE C-1.0 FOR SITE KEY

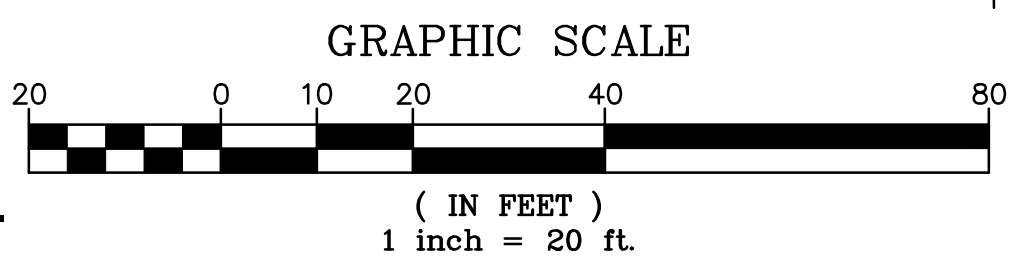


A EAST ACCESS PROPOSED CROSS SECTION A

SCALE: 1" = 2'



Know what's below.
Call before you dig.



PERMIT #16-128897 LD
GRID #K-8

SEC. 35, TWP 25 N, RGE 5 E, W.M.

No.	Date	By	Revision Description

Designed By:	JAC	Issue Date:	10/14/16
Drawn By:	WL		PERMIT
Checked By:	JAC	Project No.:	10-336-006



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KELSEY CREEK CENTER, LLC
106 148TH AVENUE SE
BELLEVUE, WA 98007

EAST ACCESS PLAN

C-1.1

SITE NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY BARGHAUSEN, DATED 4/19/2012. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION – NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DIMENSIONS SHOWN REFER TO FACE OF CURB, FACE OF BUILDING OR TO THE CENTERLINE OF PAVEMENT STRIPING, UNLESS OTHERWISE NOTED.
- ALL PAVED PARKING LOT AREAS WITHIN THE LIMITS OF IMPROVEMENTS SHALL BE STANDARD DUTY PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL ON-SITE PAINTED STRIPING SHALL BE DOUBLE COATED. SEPARATE COATS SHALL BE APPLIED NO SOONER THAN 4 HOURS APART.
- PARKING LOT STRIPING SHALL BE WHITE, 4" WIDTH, & DOUBLE COATED, UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB AND GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB AND GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SIGNS SHALL BE CONSTRUCTED BY OTHERS. THE CONTRACTOR SHALL INSTALL CONDUIT AND ELECTRICAL CIRCUIT BETWEEN THE PYLON SIGN(S) AND THE LIGHTING PANEL.
- THE SITEWORK CONTRACTOR SHALL CONNECT ALL LIGHTS WITHIN THE RETAIL STORE'S DEMISED AREA TO THE SECURITY CIRCUIT AS SHOWN ON THE ELECTRICAL PLAN.
- ALL VERTICAL CONSTRUCTION SHALL MAINTAIN 10' MINIMUM SEPARATION FROM OVERHEAD POWER LINES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXISTS AND PRIOR TO CONSTRUCTION OF THE VERTICAL ELEMENT INCLUDING, BUT NOT LIMITED TO, LIGHT POLE BASES AND TRAFFIC SIGNAL STANDARDS.

C.O.B. TESTING REQUIREMENTS:

MATERIAL TESTING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION MANUAL AS SUPPLEMENTED BELOW.

- THE PERFORMANCE OF ALL TESTING IS THE RESPONSIBILITY OF THE APPLICANT
- SOIL TESTS SHALL BE PERFORMED BY A FIRM SPECIALIZING IN SOILS ANALYSIS. THE FIRM MUST BE APPROVED BY THE CITY. THE LOCATION AND FREQUENCY OF THE TESTS SHALL BE SUFFICIENT TO ASSURE COMPLIANCE WITH THE APPROVED PLAN, GEOTECHNICAL REPORT AND THE SPECIFICATIONS.
- THE GEOTECHNICAL REPORT, SIGNED AND STAMPED BY A GEOTECHNICAL ENGINEER LICENSED BY THE STATE OF WASHINGTON, SHALL BE BASED ON ACTUAL SOILS TESTS AND SUBMITTED WITH THE PLANS.
- PROCTOR TEST AND SIEVE ANALYSIS RESULTS SHALL BE SUBMITTED TO THE CITY AND APPROVED PRIOR TO MATERIAL PLACEMENT.
- ROADWAY COMPACTION: COMPACTION TESTS SHALL BE TAKEN IN ALL ROADWAY LAYERS (SUBGRADE, GRAVEL BASE, AND ASPHALT). A MINIMUM OF ONE COMPACTION TEST SHALL BE TAKEN (PER LAYER) FOR EVERY 100 FEET OF ROADWAY. A MINIMUM OF 3 COMPACTION TESTS (PER LAYER) SHALL BE TAKEN IN THE ROADWAY.
- TRENCH COMPACTION: THE BACKFILL OF ALL UTILITY TRENCHES SHALL BE TESTED FOR COMPACTION. COMPACTION TESTS SHALL BE AT A MINIMUM TAKEN EVERY 100 FEET OF TRENCH LENGTH. COMPACTION TESTS SHALL BE PERFORMED AS THE TRENCH IS BACKFILLED WITH THE FIRST TEST TAKEN 3 FEET ABOVE THE CROWN OF THE PIPE AND ADDITIONAL TESTS TAKEN AT 2 FOOT INTERVALS THEREAFTER. A MINIMUM OF 2 COMPACTION TESTS SHALL BE TAKEN FOR ALL TRENCHES.

C.O.B. GENERAL NOTES:

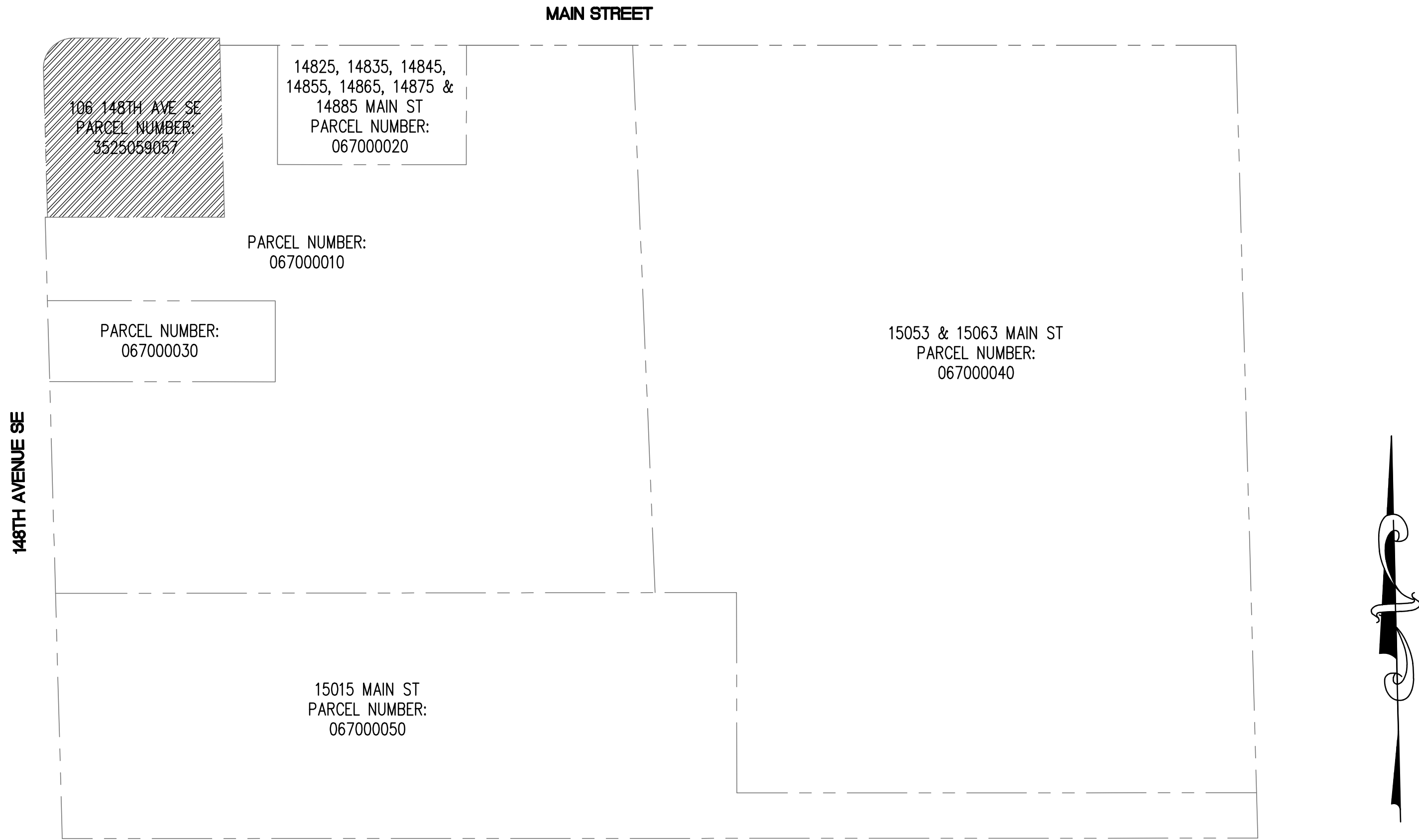
- ALL WORKMANSHIP, MATERIALS, AND TESTING SHALL BE IN ACCORDANCE WITH CITY OF BELLEVUE MUNICIPAL CODE AND THE MOST CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (STANDARD SPECIFICATIONS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). NO WORK SHALL COMMENCE UNTIL ALL REQUIRED TRAFFIC CONTROL MEASURES ARE IN PLACE.
- TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH VOLUME II OF THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON. AT NO TIME WILL SILT AND DEBRIS BE ALLOWED TO LEAVE THE CONSTRUCTION AREA.
- ALL SAFETY STANDARDS AND REQUIREMENTS SHALL BE COMPLIED WITH AS SET FORTH BY THE STATE OF WASHINGTON DEPARTMENT OF LABOR AND INDUSTRIES.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF BELLEVUE PRIOR TO THE START OF CONSTRUCTION.
- ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF BELLEVUE SHALL BE OBTAINED BY THE APPLICANT PRIOR TO THE START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO HAVE A COPY OF AN APPROVED SET OF PLANS ON THE CONSTRUCTION SITE AT ALL TIMES. NO WORK IS TO BE PERFORMED IF THE APPROVED PLANS ARE NOT ON SITE.
- ALL CURB AND GUTTER, STREET, SIDEWALK, AND ANY OTHER VERTICAL AND/OR HORIZONTAL CONTROL POINTS SHALL BE STAKED BY AN ENGINEERING FIRM OR A SURVEYING FIRM LICENSED IN THE STATE OF WASHINGTON.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR MAINTAINING ALL LOCATE MARKS ONCE THE UTILITIES HAVE BEEN LOCATED.
- ANY CHANGES TO THE APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO IMPLEMENTATION.
- AS-BUILT PLANS SHALL BE SUBMITTED TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- INSPECTION REQUESTS SHALL BE MADE AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTION.

C.O.B. STREET PATCHING AND RESTORATION NOTES:

- AFTER COMPACTING, THE TRENCH SURFACE MUST BE FLUSH WITH THE ADJACENT PAVEMENT SURFACES TO PROVIDE A SMOOTH RIDING SURFACE.
- ALL TEMPORARY PATCHES SHALL BE MAINTAINED BY THE APPLICANT UNTIL SUCH TIME AS THE PERMANENT PAVEMENT PATCH IS IN PLACE.
- THE APPLICANT MUST RESTORE ANY DAMAGE RESULTING FROM HIS ACTIVITY. THE CITY MAY IMPOSE ADDITIONAL RESTORATION REQUIREMENTS IN ORDER TO MITIGATE ANY DAMAGES.
- TACK SHALL BE APPLIED TO THE EXISTING ASPHALT PAVEMENT EDGE OF CUT AND SHALL BE EMULSIFIED ASPHALT GRADE CSS-1.
- ALL STREET SURFACES, SIDEWALKS OR DRIVEWAYS WITHIN THE EXCAVATION AREAS AFFECTED BY THE PAVEMENT CUTS SHALL BE RESTORED TO PROVIDE A SMOOTH RIDING CONNECTION AND DRAINAGE FLOW FOR THE NEWLY PAVED SURFACE.
- THE SURFACE SMOOTHNESS REQUIREMENTS OF SECTION 5--04.3(13) OF THE STANDARDS SPECIFICATIONS SHALL APPLY TO THE TRANSITION BETWEEN THE NEW AND EXISTING PAVEMENT. ANY RESTORATION FAILING TO CONFORM TO THE SURFACE SMOOTHNESS REQUIREMENTS SHALL BE CORRECTED BY REMOVAL AND REPLACEMENT.
- ALL JOINTS SHALL BE SEALED USING LIQUID ASPHALT AR4000W OR EQUIVALENT.
- THE PERMANENT RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS AFTER FIRST OPENING THE TRENCH.

C.O.B. EXCAVATION AND BACKFILL NOTES:

- PAVEMENT CUTS SHALL BE MADE BY SAWCUTS. PAVEMENT CUTS FOR SMALL UTILITY WINDOWS MAY BE MADE BY ALTERNATE METHODS IF APPROVED BY THE CITY.
- TRENCHING OPERATIONS SHALL NOT PROCEED MORE THAN 100 FEET IN ADVANCE OF PIPE LAYING. BACKFILLING AND SURFACE RESTORATION SHALL CLOSELY FOLLOW INSTALLATION OF PIPE SO THAT NOT MORE THAN 100 FEET OF TRENCH IS LEFT EXPOSED AT ANY TIME.
- TRENCHES SHALL BE RESTORED AND OPEN TO TRAFFIC DURING NON-WORKING HOURS.
- PIPE COVER, MEASURED FROM THE FINISHED GRADE ELEVATION TO THE CROWN OF THE PIPE, SHALL BE 3 FEET MINIMUM UNLESS APPROVED BY THE CITY.
- BEDDING AND BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED AROUND AND UNDER THE PIPE BY HAND TOOLS. SPECIAL PRECAUTIONS SHALL BE PROVIDED TO PROTECT THE PIPE TO A POINT 12 INCHES ABOVE THE CROWN OF THE PIPE.
- BACKFILL MATERIAL SHALL BE CRUSHED SURFACING TOP COURSE (5/8"MINUS), CONTROLLED DENSITY FILL, OR IMPORTED CLASS B GRAVEL BASE.
- ALL BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN MAXIMUM 6-INCH LIFTS TO 95% OF STANDARD DENSITY EXCEPT CONTROLLED DENSITY FILL, WHICH HAS NO COMPACTION REQUIREMENT.
- NATIVE MATERIAL SHALL NOT BE USED FOR BACKFILL OR BEDDING UNLESS APPROVED BY THE CITY.
- UTILITY WINDOWS SHALL BE BACKFILLED WITH EITHER CRUSHED SURFACING TOP COURSE (5/8"MINUS) OR CONTROLLED DENSITY FILL.
- ALL EXCESS MATERIAL SHALL BE HAULED OFFSITE. IT IS THE APPLICANT'S RESPONSIBILITY TO DISPOSE OF THIS MATERIAL AT A PROPER FACILITY.
- TRENCHING IN THE TRAVELED WAY SHALL BE LIMITED TO NON-PEAK TRAFFIC HOURS UNLESS PRIOR APPROVAL HAS BEEN GRANTED BY THE CITY.



TAX PARCEL MAP



Know what's below.
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PERMIT #16-128897 LD
GRID #K-8

SEC. 35, TWP 25 N, RGE 5 E, W.M.

No.	Date	By	Revision Description

Designed By:	Issue Date:
JAC	10/14/16
Drawn By:	
WL	PERMIT
Checked By:	Project No:
JAC	10-336-006



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KELSEY CREEK CENTER, LLC 106 148TH AVENUE SE BELLEVUE, WA 98007	SITE PLAN NOTES & TAX PARCEL MAP	C-1.2
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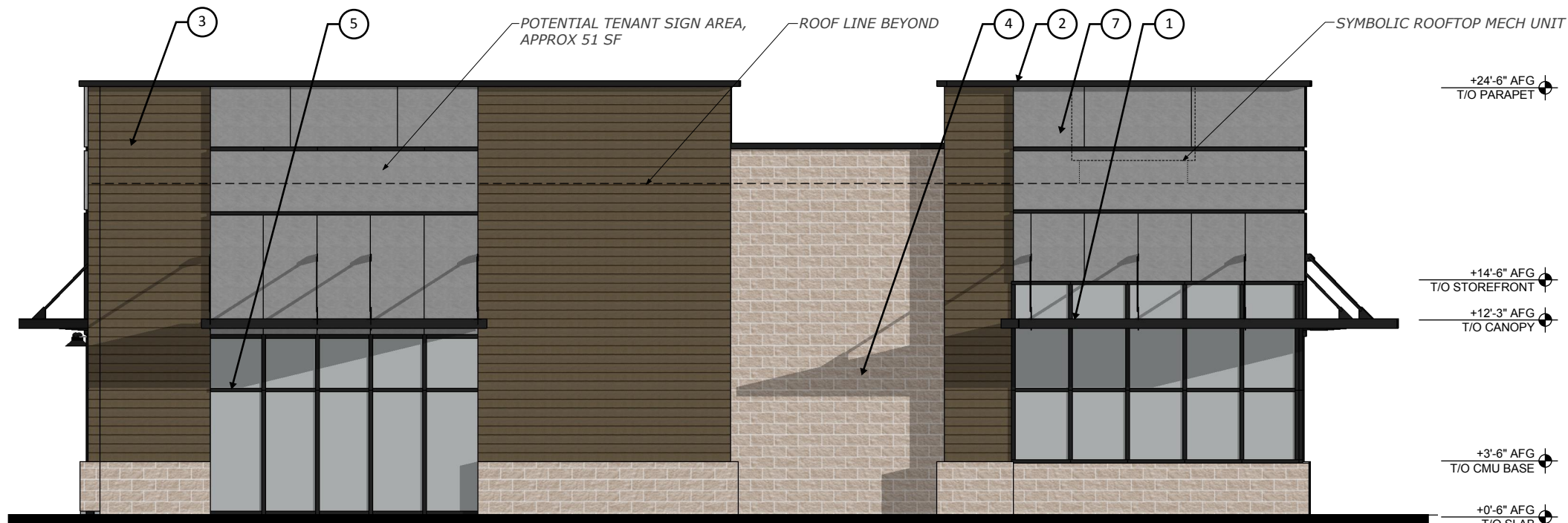
1 PERSPECTIVE VIEW - FROM NORTHWEST





1 PERSPECTIVE VIEW - FROM SOUTHEAST





KEYNOTES

1 - STEEL CANOPY TYP, IRON ORE

2 - PRE-FINISHED METAL COPING, COOL DARK BRONZE

3 - FIBER CEMENT LAP SIDING, "SW 7545 PIER"

4 - SPLIT FACE CMU, "MUTUAL MATERIALS KHAKI"

5 - STOREFRONT SYSTEM TYP, COOL DARK BRONZE

6 - TENANT ENTRY

7 - VERTICAL, FIBER CEMENT PANEL, "SW7673, PEWTER CAST"

8 - APPROX. WALL SCONCE LOCATION, TYP

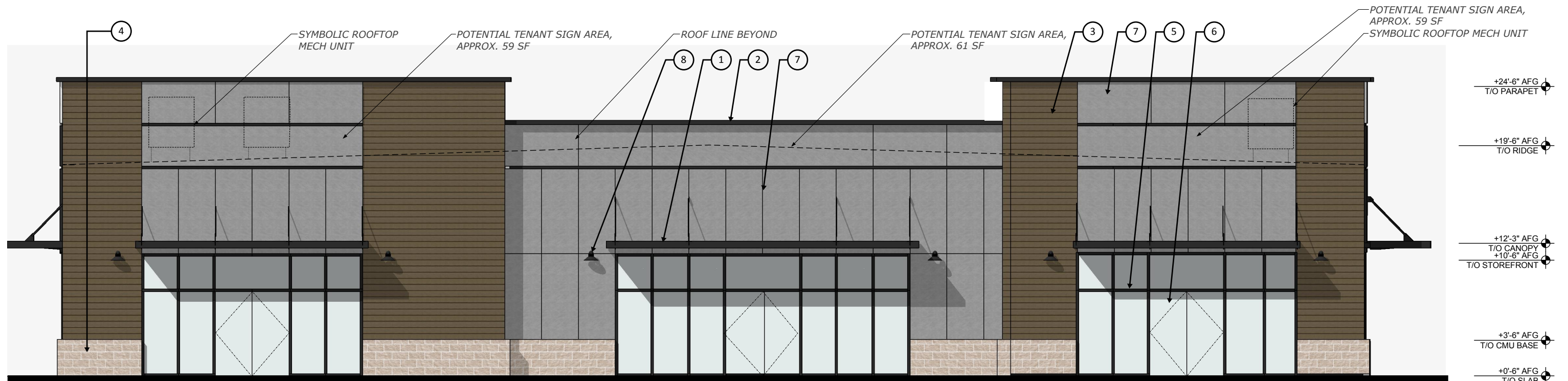
FIBER CEMENT FLAT PANEL "SW7673, PEWTER CAST"

FIBER CEMENT HORIZONTAL LAP PANEL, "SW 7545, PIER"

SPLIT FACE CMU, "MUTUAL MATERIALS KHAKI"

1 EXTERIOR ELEVATION NORTH

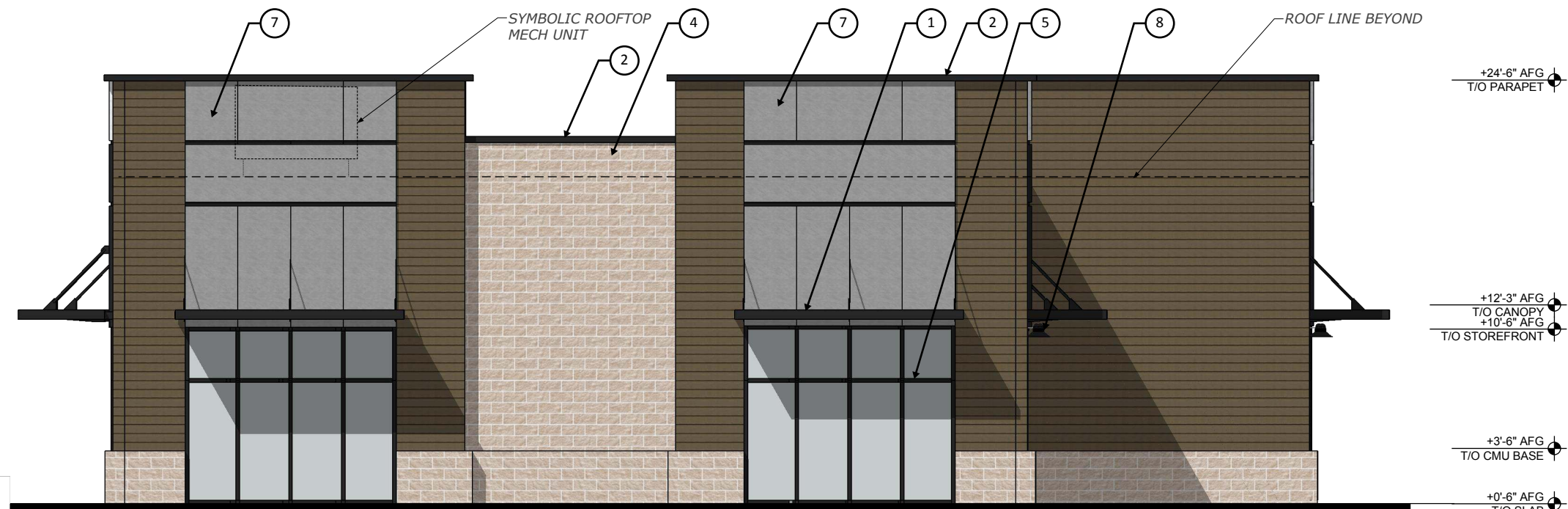
SCALE: 1/8" = 1' -0"



2 EXTERIOR ELEVATION EAST

SCALE: 1/8" = 1' -0"





KEYNOTES

1 - STEEL CANOPY TYP, IRON ORE

2 - PRE-FINISHED METAL COPING, COOL DARK BRONZE

3 - FIBER CEMENT LAP SIDING, "SW 7545 PIER"

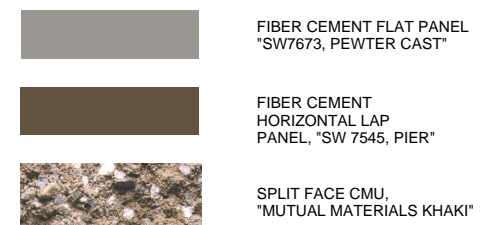
4 - SPLIT FACE CMU, "MUTUAL MATERIALS KHAKI"

5 - STOREFRONT SYSTEM TYP, COOL DARK BRONZE

6 - TENANT ENTRY

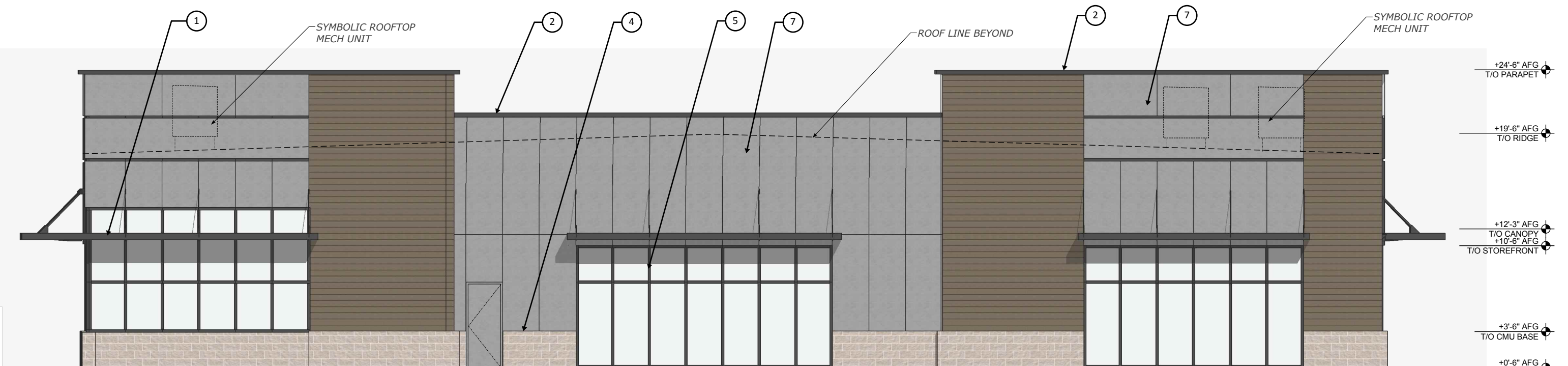
7 - VERTICAL, FIBER CEMENT PANEL, "SW7673, PEWTER CAST"

8 - APPROX. WALL SCONCE LOCATION, TYP



1 EXTERIOR ELEVATION SOUTH

SCALE: 1/8" : 1' -0"



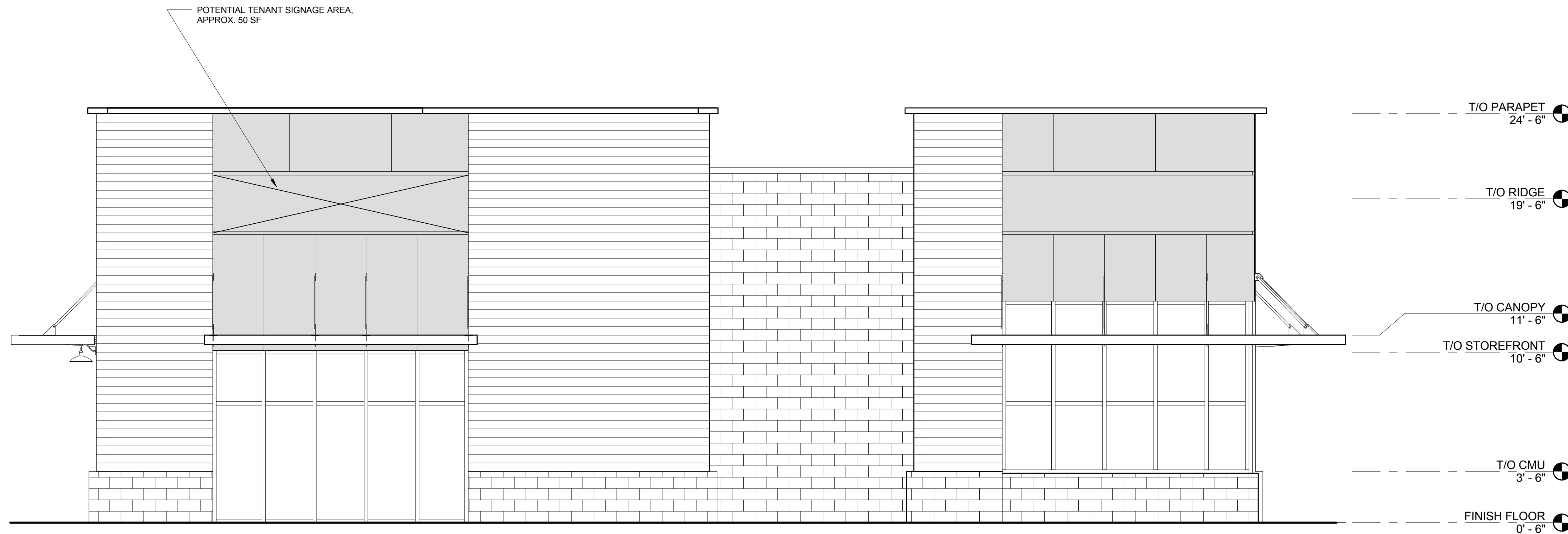
2 EXTERIOR ELEVATION WEST

SCALE: 1/8" : 1' -0"

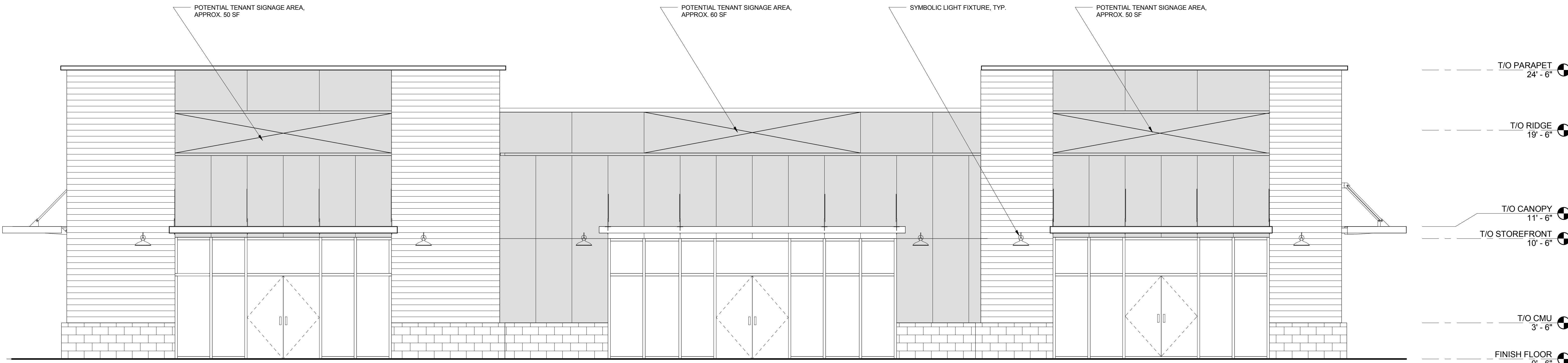


Kelsey Creek Building E
2150605.00





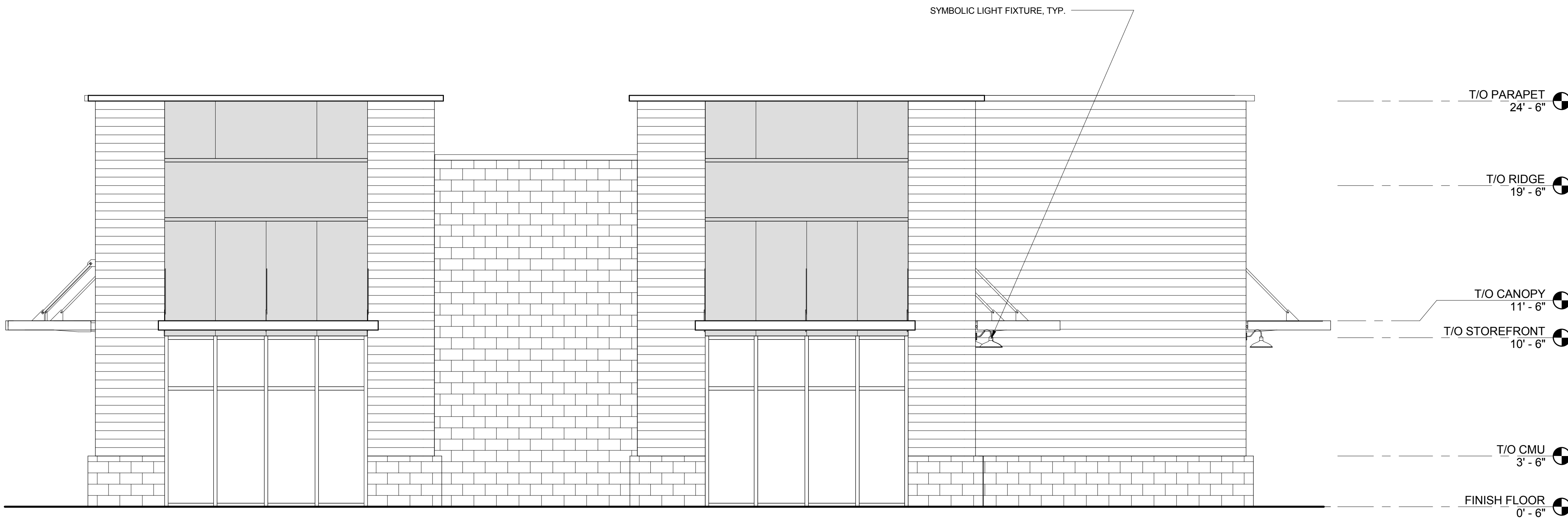
1 EXTERIOR ELEVATION NORTH
1/4" = 1'-0"



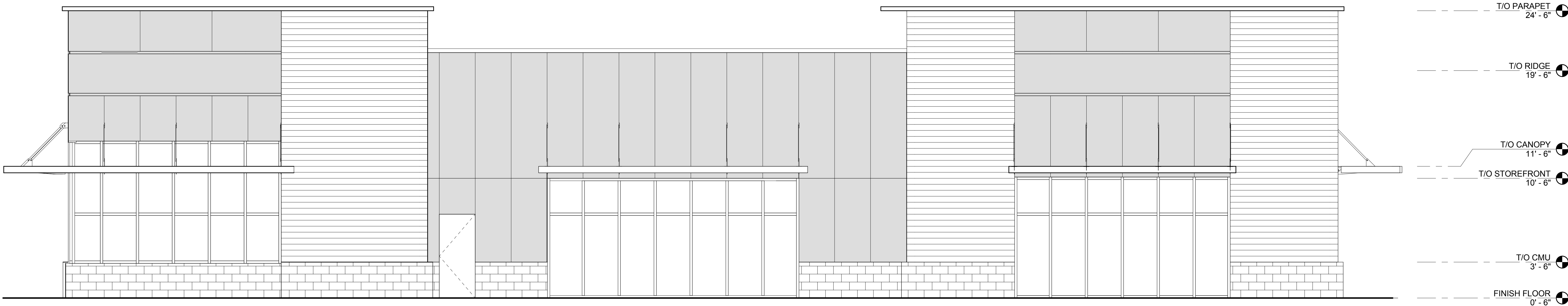
2 EXTERIOR ELEVATION EAST
1/4" = 1'-0"



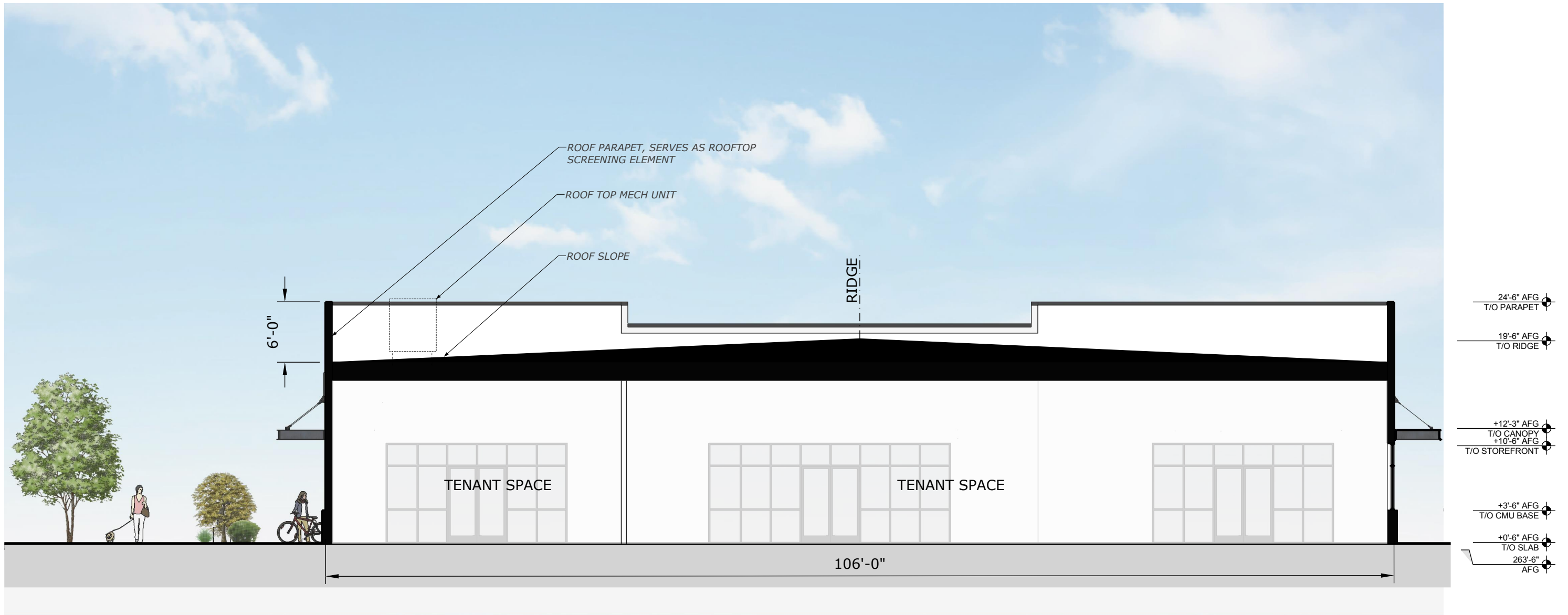
Revision Schedule	
Revision Delta	Issue Date



1 EXTERIOR ELEVATION SOUTH
DR2.2 1/4" = 1'-0"



2 EXTERIOR ELEVATION WEST
DR2.2 1/4" = 1'-0"

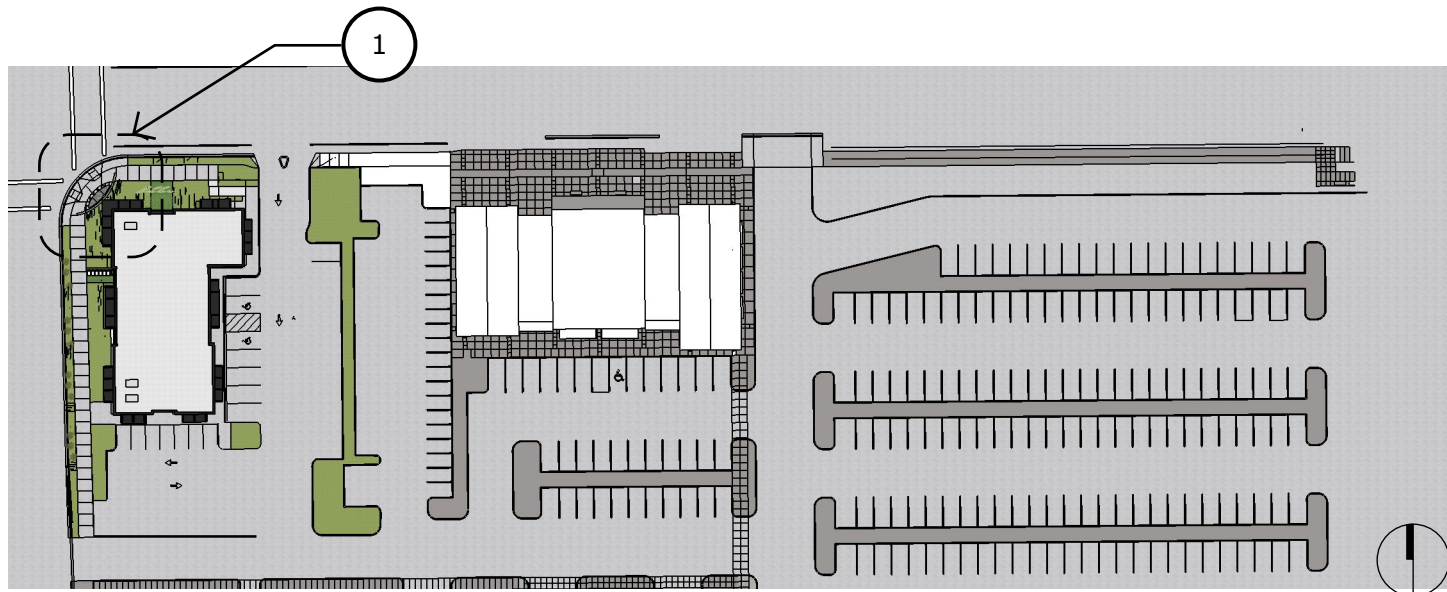


1 BUILDING SECTION - LOOKING EAST
SCALE: 1" : 10'-0"

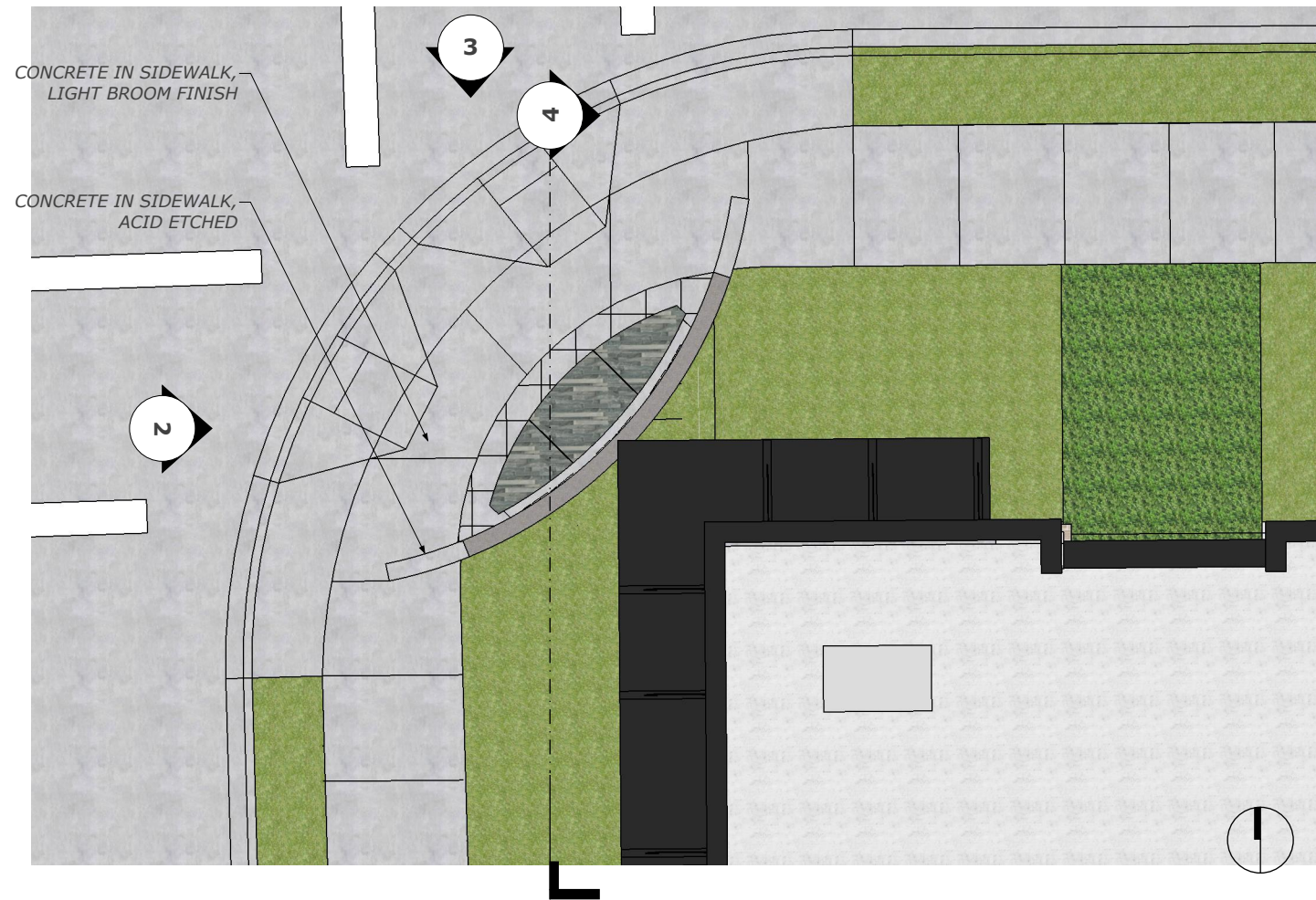


KELSEY CREEK CENTER: CORNER AMENITY
FEATURE





1 CONTEXTUAL SITE PLAN



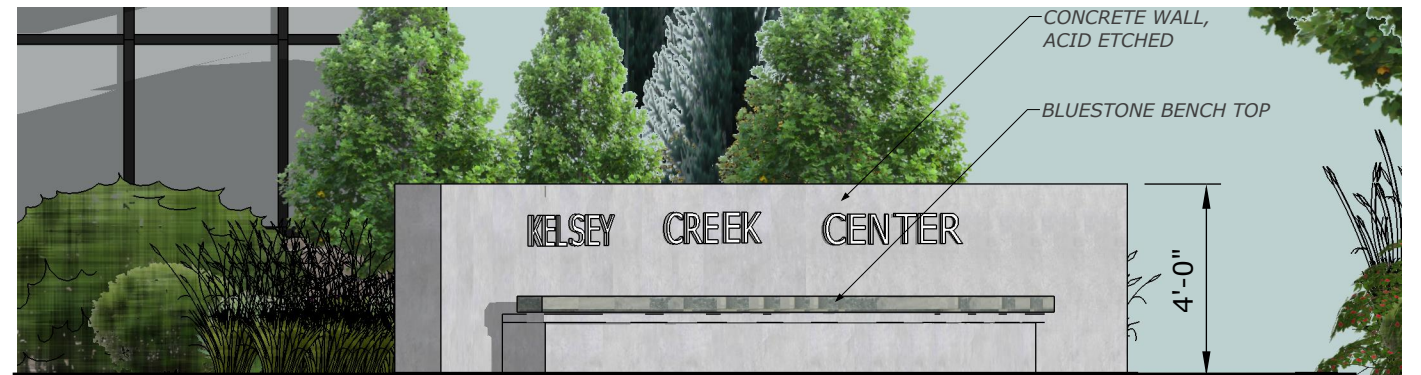
1 CORNER AMENITY FEATURE

SCALE: 1" : 10' -0"



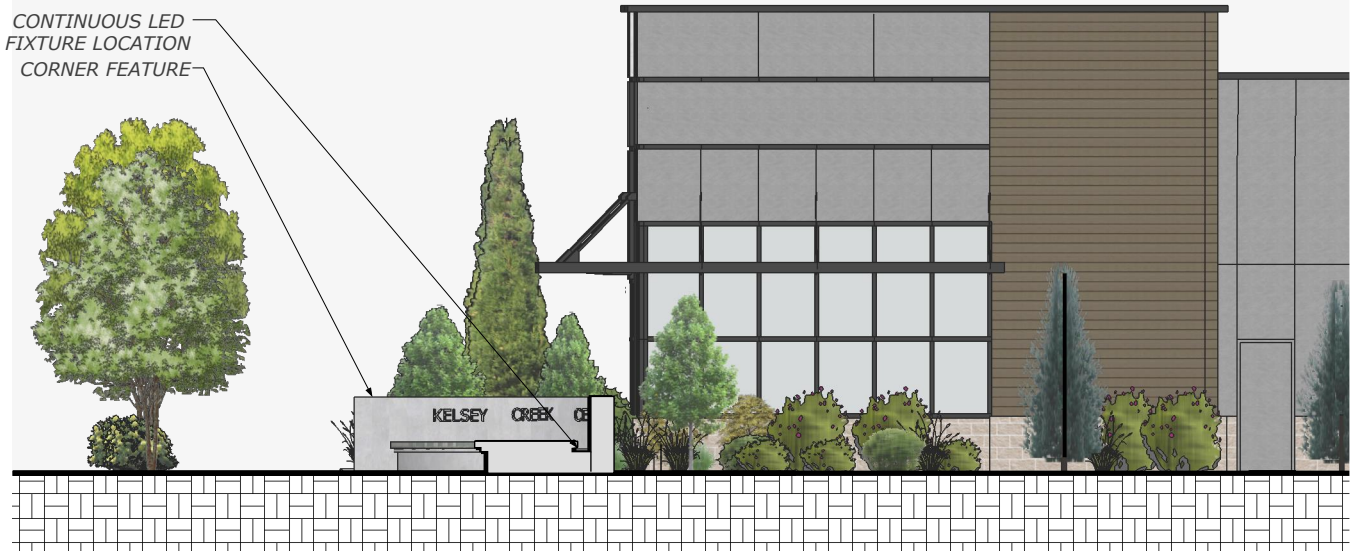
2 WEST ELEVATION

SCALE: 1/4" : 1' -0"



3 NORTH ELEVATION

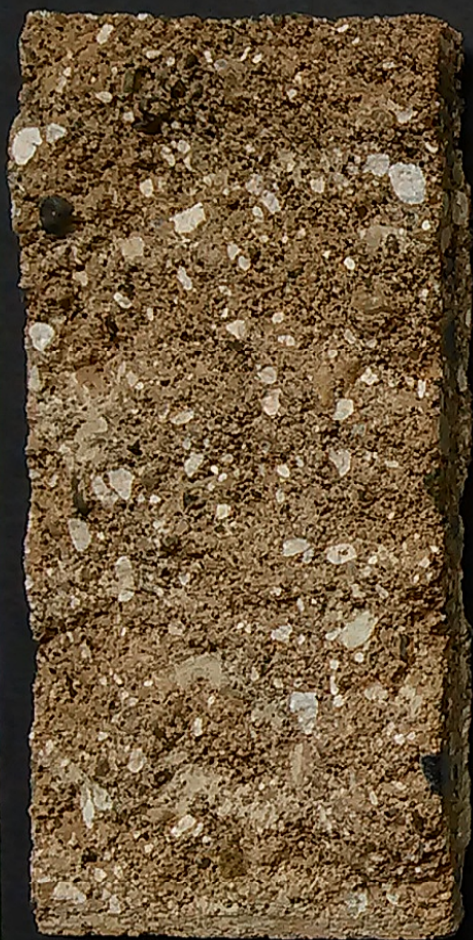
SCALE: 1/4" : 1' -0"



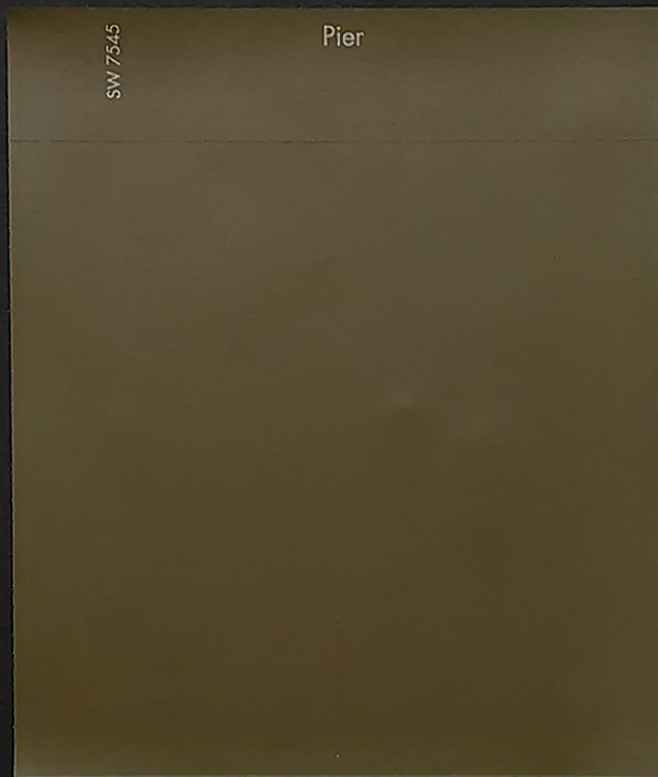
4 SECTION - LOOKING EAST

SCALE: 1" : 10' -0"

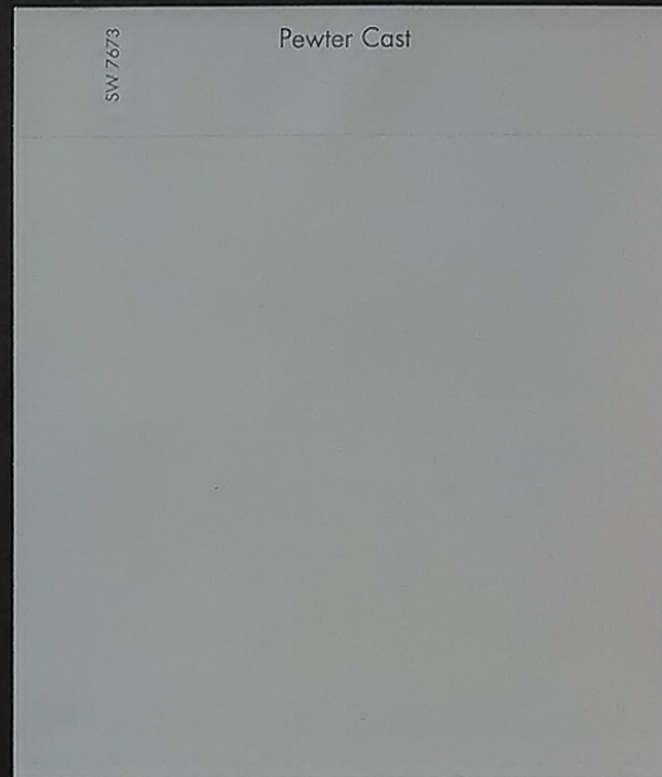




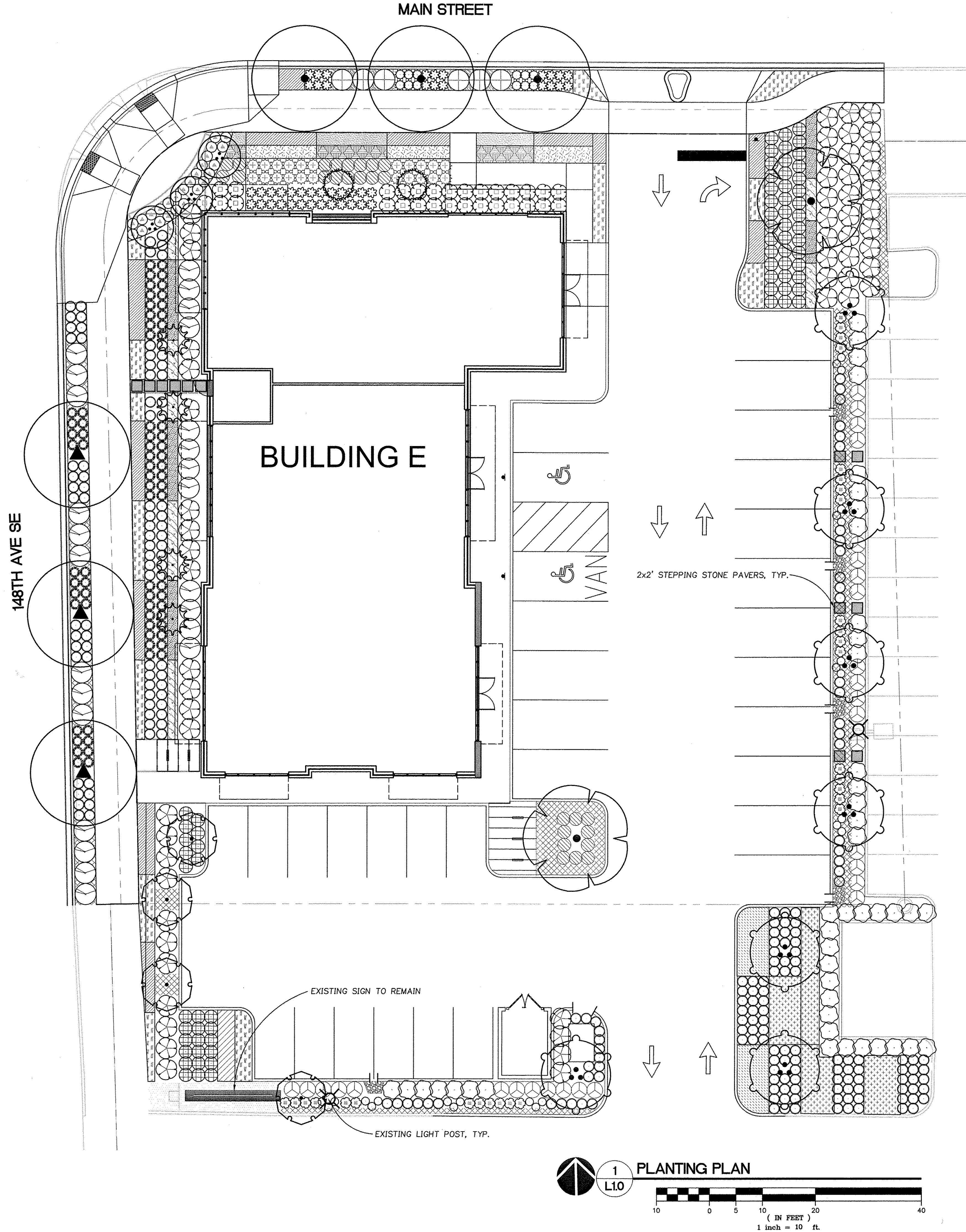
SPLIT FACE CMU
KHAKI



HORIZ. LAP
PANELING



VERT. FLAT
PANELING



PLANT SCHEDULE			
TREES	BOTANICAL NAME / COMMON NAME	SIZE	
	ACER PLATANOIDES "PARKWAY" / NORWAY MAPLE	2.5' CAL.	
	CERCIDIPHYLLUM JAPONICUM / KATSURA TREE	2" CAL. B&B	
	CHAMAECYPARIS OBTUSA "GRACILIS" / SLENDER HINOKI CYPRESS	8'-10" HT. MIN. B&B	
	MAGNOLIA GRANDIFLORA "LITTLE GEM" / DWARF SOUTHERN MAGNOLIA	6'-8" HT. B&B, MULTI-TRUNK	
	NYSSA SYLVATICA "RED RAGE" TM / RED RAGE BLACK GUM	2" CAL. B&B	
	PICEA OMORIKA / SERBIAN SPRUCE	8' HT. MIN. B&B	
	PRUNUS SARGENTII "RANCHO" / SARGENT CHERRY	2" CAL. B&B	
	ULMUS PARVIFOLIA "EMER II" / "EMER II" ALLEE ELM	2.5' CAL.	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	ARBUTUS UNEDO "COMPACTA" / DWARF STRAWBERRY TREE	5 GAL	48" o.c.
	CALAMAGROSTIS X ACUTIFLORA "OVERDAM" / OVERDAM FEATHER REED GRASS	2 GAL	24" o.c.
	CALLUNA VULGARIS "SPRING TORCH" / SPRING TORCH SCOTCH HEATHER	2 GAL	24" o.c.
	CORNUS SANGUINEA "MIDWINTER FIRE" / BLOOD-TWIG DOGWOOD	5 GAL	42" o.c.
	CORNUS SERICEA "KELSEYI" / KELSEY DOGWOOD	5 GAL	24" o.c.
	GAULTHERIA SHALLON "SNOQUALMIE PASS" / DWARF SALAL	2 GAL	30" o.c.
	IRIS SIBIRICA / SIBERIAN IRIS	1 GAL	18" o.c.
	NANDINA DOMESTICA / HEAVENLY BAMBOO	5 GAL	36" o.c.
	NANDINA DOMESTICA "GULF STREAM" TM / HEAVENLY BAMBOO	5 GAL	30" o.c.
	PENNISETUM ORIENTALE "KARLEY ROSE" / KARLEY ROSE FOUNTAIN GRASS	2 GAL	24" o.c.
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	2 GAL	24" o.c.
	RHODODENDRON "CUNNINGHAM'S WHITE" / CUNNINGHAM'S WHITE RHODODENDRON	5 GAL	48" o.c.
	RHODODENDRON "HINO-CRIMSON" / HINO-CRIMSON RHODODENDRON	5 GAL	48" o.c.
	SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA	1 GAL	30" o.c.
	SPIRAEA JAPONICA "WALBUMA" / MAGIC CARPET SPIREA	5 GAL	24" o.c.
	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	5 GAL	48" o.c.
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	CAREX TESTACEA / CAREX	1 GAL	18" o.c.
	ECHINACEA PURPUREA "MERLOT" / MERLOT CONEFLOWER	2 GAL	18" o.c.
	EUPHORBIA AMYGDALOIDES "RUBY GLOW" / WOOD SPURGE	2 GAL	18" o.c.
	HELLEBORUS X "JADE TIGER" / JADE TIGER WINTER JEWELS HELLEBORE	1 GAL	12" o.c.
	HEMEROCALLIS "HAPPY RETURNS" / HAPPY RETURNS DAYLILY	2 GAL	24" o.c.
	JUNCUS PATENS "OCCIDENTAL BLUE" / OCCIDENTAL BLUE RUSH	1 GAL	12" o.c.
	LIRIOPE SPICATA / CREEPING LILY TURF	1 GAL	18" o.c.
	ROSMARINUS OFFICINALIS "ARP" / ARP ROSEMARY	2 GAL	18" o.c.
	RUDBECKIA FULGIDA SULLIVANTII "LITTLE GOLDSTAR" / CONEFLOWER	2 GAL	18" o.c.
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	EXISTING LANDSCAPE	N/A	12" o.c.
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	4"POT	12" o.c.
	FRAGARIA CHILOENSIS "LIPSTICK" / BEACH STRAWBERRY	4"POT	12" o.c.

NOTE:
1. PROVIDE ROOT BARRIER AT ALL STREET TREES. ROOT BARRIERS SHALL BE A FLEXIBLE MESH MATERIAL, 100% NYLON, RASCHEL KNIT CONSTRUCTION, OZ./SQ. YARD OF 10.40 (=/-10%), TRIMMED SELVAGE, FIRM/EXTRA FIRM ACRYLIC TOPICAL RESIN FINISH, MINIMUM BURST STRENGTH OF 250 LBF (ASTM D 3787-89 BURST OF KNIT GOODS).
2. PROVIDE SOIL PREP DETAIL PER CITY OF BELLEVUE TYPE 2 SOIL PREPARATION DETAIL.

M.

Architecture - Interiors
Planning - Engineering

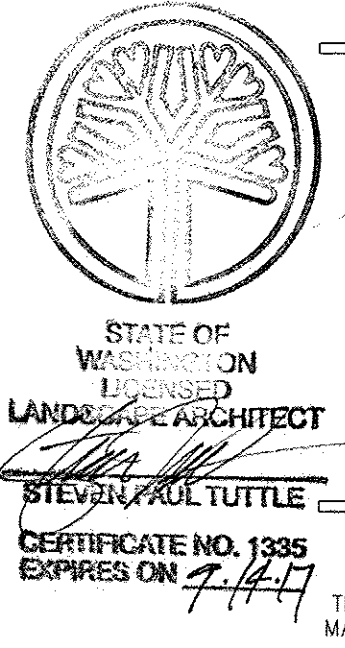
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MACKENZIE
DESIGN DRIVEN • CLIENT FOCUSED

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Project
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CENTER
BUILDING E

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98007



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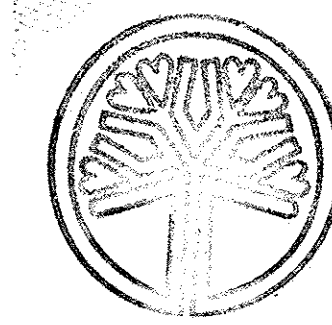
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REVISION	REVISIONS DATE THIS SHEET	REVISION DELTA CLOSING DATE

SHEET TITLE:
LANDSCAPE PLAN

DRAWN BY: ADS
CHECKED BY: SPT
SHEET:

L2.1

JOB NO. 2150605.00



STATE OF
WASHINGTON
LANDSCAPE ARCHITECT
STEVEN PAUL TUTTLE
CERTIFICATE NO. 1335
EXPIRES ON 7/17

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REVISION	REVISIONS THIS SHEET	REVISION DELTA CLOSING DATE

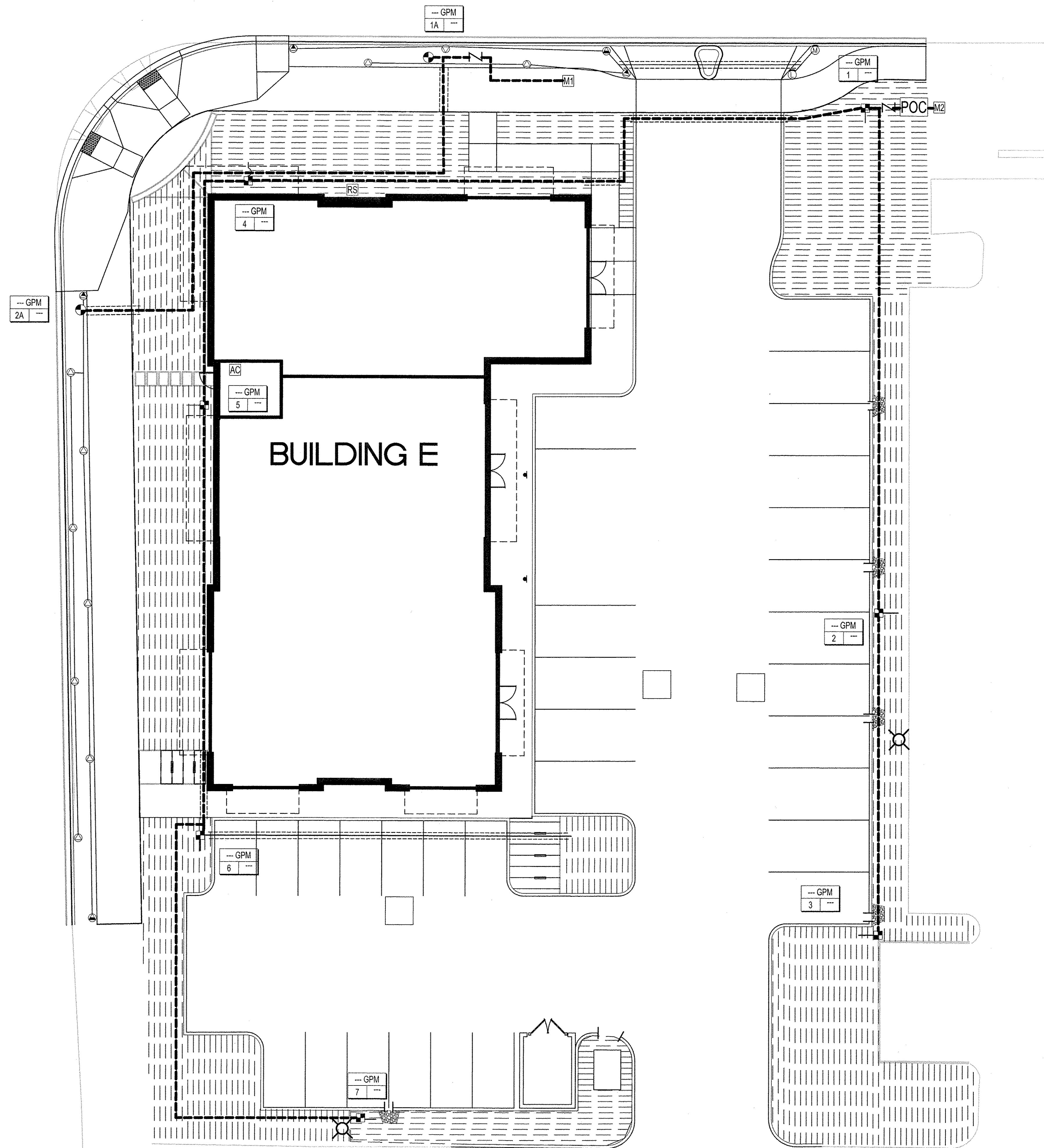
SHEET TITLE:
**IRRIGATION
PLAN**

DRAWN BY: AJ
CHECKED BY: SPT
SHEET:

L2.2

JOB NO. 2150605.00

DESIGN REVIEW: 10.07.16



IRRIGATION MATERIAL SCHEDULE

SYMBOL	DESCRIPTION MANUFACTURE / TYPE	SHEET #
POC	POINT OF CONNECTION FOR ON-SITE IRRIGATION	L8.1
M1	EXISTING 1" WATER METER FOR OFF SITE IRRIGATION	L8.1
M2	EXISTING 2" WATER METER ON ADJACENT PROPERTY FOR ON-SITE IRRIGATION	L8.1
AC	CONTROLLER FOR ON-SITE SYSTEM SEE SPECS	L8.1
■	DRIP REMOTE CONTROL VALVE KIT RAINBIRD, XCZ-PRB-100-COM	L8.1
⊙	REMOTE CONTROL VALVE RAINBIRD PEB SERIES	
N	DOUBLE CHECK VALVE SEE SPECS	L8.1
RS	RAIN SENSOR RAINBIRD RAIN SENSOR RSD-BEx OR APP'D. EQUAL	L8.1
⊙	HUNTER MPROTATOR, SIDE STRIP	L8.1
⊙	HUNTER MPROTATOR, 1000 SERIES	L8.1
---	2" MAINLINE, UNLESS OTHERWISE INDICATED PVC SCHEDULE 40 IPS PLASTIC PIPE	L8.1
---	3/4" LATERAL LINE, UNLESS OTHERWISE INDICATED PVC SCHEDULE 40 IPS PLASTIC PIPE	L8.1
---	SLEEVE, MIN. 6" DIA. PIPE PVC SCHEDULE 40 IPS PLASTIC PIPE	L8.1
15.2 GPM 1" 1"	GPM OR GPH FOR DRIPLINE VALVE SIZE ZONE NUMBER	L8.1
---	DRIP LINE RAINBIRD XERI-FLEX DRIPLINE, XFD-09-18	L8.1

GENERAL NOTES

1. ALL NEW PLANTING AREAS TO BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM.
2. LAYOUT OF THE SYSTEM AS SHOWN ON DRAWINGS IS DIAGRAMMATIC. IRRIGATION LINES AND VALVES SHOWN WITHIN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY AND TO BE PLACED WITHIN LANDSCAPED AREAS WITH THEIR LOCATIONS MODIFIED AS REQUIRED TO AVOID PLANT MATERIALS, UTILITIES AND OTHER OBSTRUCTIONS.
3. AVAILABLE STATIC PRESSURE IS ESTIMATED, CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION.
4. INSTALL VALVE BOXES IN SHRUB AREAS WHEREVER POSSIBLE.
5. ZONES HAVE BEEN CALCULATED ASSUMING AN INLET PRESSURE OF 40 PSI, EMITTERS SPACED AT 18" ON CENTER WITH A NOMINAL FLOW RATE OF .9 GPH. MAXIMUM LATERAL LENGTH SHALL NOT EXCEED 434' PER ZONE, BASE ON THE ASSUMPTIONS ABOVE. CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR IRRIGATION AUDIT PERFORMED BY LICENSED IRRIGATION AUDITOR PRIOR TO CITY INSPECTION.
7. IRRIGATION SYSTEM SHALL NOT BE OPERATED DURING TIMES OF RAIN OR HIGH WIND.
8. PROVIDE DRAIN VALVES AT ALL LOW POINTS OF THE SYSTEM.
9. UTILIZE EXISTING 1" METER FOR OFF-SITE IRRIGATION.
10. UTILIZE NEW 2" METER FOR ON-SITE IRRIGATION.
11. SLEEVES TO BE INSTALLED 24" BELOW FINISH GRADE OF PAVING AND EXTEND SLEEVE 12" BEYOND EDGE OF PAVING

LED LIFESTYLE SMALL DECORATIVE AREA LIGHTS (XDLS) (WALL SCONCE FIXTURE)



US patent 7,828,456 8,002,428, 8,177,386 8,434,893 8,567,983 and US & int'l. patents pending

SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature

ENERGY SAVING CONTROL OPTION - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of installation location.

LEDS - Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K) or Warm White (3500K) color temperature. 70 CRI CW. 80 CRI NW and WW.

DISTRIBUTION PATTERN - Types 3, FT and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

CROWN - Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water- and dust-tight construction.

SHADES - Spun aluminum. Two shade styles available - A - Angle and B - Bell.

OPTICAL UNIT - Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket. Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather). Optical unit is tethered and provides access to driver. Door frame retaining fasteners are captive.

BRACKETS - Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.

MOUNTING - Classic Hook (CH), Side Arm (SA - 4" O.D. minimum pole top required), Wall Mount (W - for use CH or SA style), Pendant (PM) and Universal Pole Clamp (UCL) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information. Side Arm pole mount requires 3" reduced drilling pattern. Classic hook mount requires a 4" O.D. pole or tenon.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVERS - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed.). Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

FINISH - Each fixture is finished with LSI's DuraGrip polyester powder coat process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (IN CARTON) - 24 lbs. (10.8 kg)

LISTINGS - UL listed to U.S. and Canadian safety standards. Suitable for wet locations

LIGHT OUTPUT - XDLS					
		Lumens (Nominal)			Watts (Nominal)
		Type 3	Type FT	Type 5	
Cool White	SS	7100	6540	6220	71
	HO	9600	8990	8500	106
Neutral White	SS	6510	5840	5680	71
	HO	8810	7890	7780	106
Warm White	SS	4790	5170	5010	71
	HO	6460	6880	6740	106

LED Chips are frequently updated therefore values may increase.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

ARRA
Funding Compliant

cULus
LISTED
wet location

RoHS
COMPLIANT

FC



Project Name _____ Fixture Type _____

Catalog # _____

10/21/15
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LSI INDUSTRIES INC.

LED LIFESTYLE SMALL DECORATIVE AREA LIGHTS (XDLS)

PRODUCT ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XDLSB 3 LED SS CW UE BLK CH S PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temp	Input Voltage	Finish	Mounting Style ^{1,2}	Mounting Configuration ^{1,2}	Options
XDLSA ¹ Angle Shade	3 - Type III 5 - Type V FT - Forward Throw	LED	SS - Super Saver	CW - Cool White (5000K) NW - Neutral White (4000K) WW - Warm White (3500K)	UE - Universal Electronic (120-277V) 347-480 Universal Voltage (347-480V)	BLK - Black BRZ - Bronze WHT - White GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green	CH - Classic Hook SA4 - Side Arm Mount for 4" O.D. Round Poles ³ SA5 - Side Arm Mount for 5" O.D. Round Poles ³ PM - Pendant Mount UCL4 - Universal Pole Clamp for 4" O.D. Round Poles UCL5 - Universal Pole Clamp for 5" O.D. Round Poles	S - Single D180 - Double D90 - Double ⁴ T90 - Triple ⁴ TN120 - Triple ⁴ Q90 - Quad ⁴ W - Wall Mount (For use with CH or Side Arm Mounting Style)	DIM - 0-10 Volt Dimming (from external signal) ⁵ BLS - Bi-level Switching (from external 120-277V signal) ⁵ Button Type Photocells PCI120 - 120V PCI208-277V - 208-277V PCI347 - 347V

ACCESSORY ORDERING INFORMATION

(Accessories are field installed)

Description	Order Number	Description	Order Number
FK120 Single Fusing (120V)	FK120 ⁶	DFK480 Double Fusing (480V)	DFK480 ⁶
FK277 Single Fusing (277V)	FK277 ⁶	FK347 Single Fusing (347V)	FK347 ⁶
DFK208, 240 Double Fusing (208V, 240V)	DFK208, 240 ⁶		

FOOTNOTES:

1- When ordering a multiple configuration (D180, etc.) order one fixture/bracket configuration per pole - i.e. order one XDLSB 3 LED SS CW UE BLK CH D180 PCI120 to receive two fixtures and one CH D180 bracket (see drawing on this page). See STEEL ROUND POLES and ALUMINUM ROUND POLES data sheets for pole ordering information.

2- See Lifestyle Bracket ordering chart for Mounting Style/Configurations availability.

3- 3" reduced drilling pattern required.

4- For use with SA4 and SA5 mounting styles only.

5- DIM and BLS cannot be ordered together.

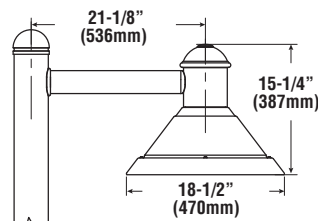
6- Fusing must be located in the hand hole of pole.

LUMINAIRE EPA CHART - XDLS

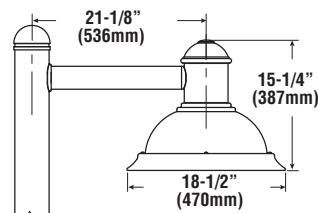
Single	
D180°	2.7
D90°	2.3
T90°	3.3
TN120°	3.4
Q90°	4.1

Note: Includes Bracket

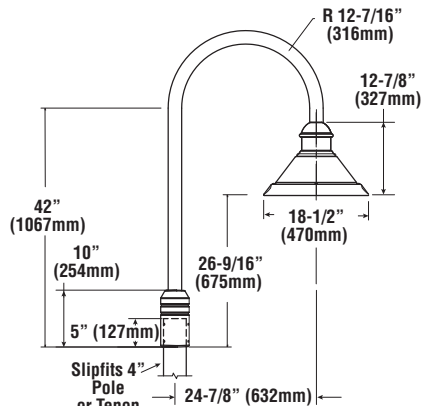
DIMENSIONS



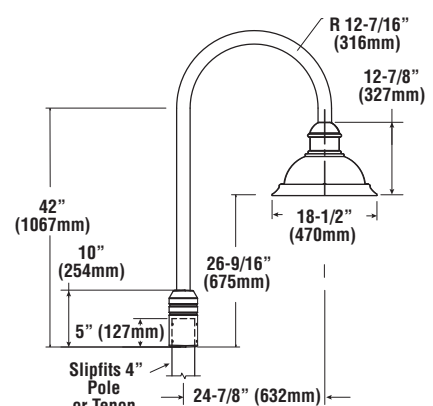
SIDE ARM (SA4 S) - ANGLE SHADE



SIDE ARM (SA4 S) - BELL SHADE

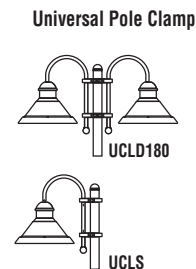
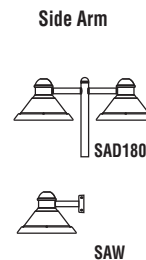
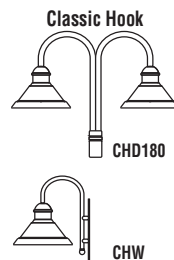


CLASSIC HOOK (CH S) - ANGLE SHADE



CLASSIC HOOK (CH S) - BELL SHADE

See Lifestyle Brackets and Mounts in outdoor section of latest Buyers Guide for details on other bracket sizes.



Project Name _____ Fixture Type _____
Catalog # _____

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LSI INDUSTRIES INC.

LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XDLM) (SITE LIGHTING FIXTURE)



US patent 7,828,456 8,002,428, 8,177,386 8,434,893 8,567,983 and US & int'l. patents pending

SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature

ENERGY SAVING CONTROL OPTION - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of installation location.

LEDs - Select high-brightness LEDs in Cool White (5000K), Neutral White (4000K), or Warm White (3500K) color temperature. 70 CRI CW. 80 CRI NW and WW.

DISTRIBUTION PATTERN - Types 3, FT and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

CROWN - Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water- and dust-tight construction.

SHADES - Spun aluminum. Two shade styles available - A - Angle and B - Bell.

OPTICAL UNIT - Optical unit and aluminum door frame recessed into shade and sealed with one-piece silicone gasket. Clear tempered flat glass lens sealed with silicone gasket to door frame (includes pressure-stabilizing breather). Optical unit is tethered and provides access to driver. Door frame retaining fasteners are captive.

BRACKETS - Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.

MOUNTING - Classic Hook (CH), Side Arm (SA - 4" O.D. minimum pole top required), Wall Mount (W - for use SA style), Universal Pole Clamp (UCL) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information. Side Arm pole mount requires 3" reduced drilling pattern. Classic hook mount requires a 4" O.D. pole or tenon.

ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (UE - 50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVERS - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed.). Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

FINISH - Each fixture is finished with LSI's DuraGrip polyester powder coat process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

SHIPPING WEIGHT (IN CARTON) - 36 lbs. (16.3 kg)

LISTINGS - UL listed to U.S. and Canadian safety standards. Suitable for wet locations

LIGHT OUTPUT - XDLM					
		Lumens (Nominal)			Watts (Nominal)
		Type 3	Type FT	Type 5	
Cool White	SS	13470	14080	13310	136
	HO	18730	19920	18480	205
Neutral White	SS	11180	11780	11130	136
	HO	18070	19370	18080	205
Warm White	SS	11440	11980	11040	136
	HO	15380	16350	15130	205

LED Chips are frequently updated therefore values may increase.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Project Name _____ Fixture Type _____

Catalog # _____

10/21/15

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LED LIFESTYLE MEDIUM DECORATIVE AREA LIGHTS (XDLM)

PRODUCT ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XDLMB 3 LED SS CW UE BLK CH S PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temp	Input Voltage	Finish	Mounting Style ^{1,2}	Mounting Configuration ^{1,2}	Options
XDLMA ¹ Angle Shade	3 - Type III 5 - Type V FT - Forward Throw	LED	SS - Super Saver HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K) WW - Warm White (3500K)	UE - Universal Electronic (120-277V) 347-480 Universal Voltage (347-480V)	BLK - Black BRZ - Bronze WHT - White GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green	CH - Classic Hook SA4 - Side Arm Mount for 4" O.D. Round Poles ³ SA5 - Side Arm Mount for 5" O.D. Round Poles ³ UCL4 - Universal Pole Clamp for 4" O.D. Round Poles UCL5 - Universal Pole Clamp for 5" O.D. Round Poles	S - Single D180 - Double D90 - Double ⁴ T90 - Triple ⁴ TN120 - Triple ⁴ Q90 - Quad ⁴ W - Wall Mount (For use with Side Arm Mounting Style)	Button Type Photocells PCI120 - 120V PCI208-277V - 208-277V PCI347 - 347V DIM - 0-10 Volt Dimming (from external signal) ⁵ BLS - Bi-level Switching (from external 120-277V signal) ⁵
XDLMB ¹ Bell Shade									

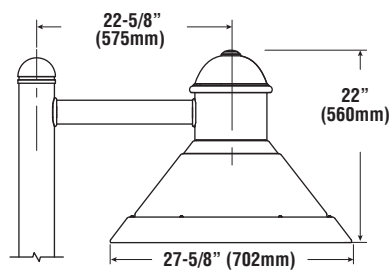
ACCESSORY ORDERING INFORMATION (Accessories are field installed)			
Description	Order Number	Description	Order Number
FK120 Single Fusing (120V)	FK120 ⁶	DFK480 Double Fusing (480V)	DFK480 ⁶
FK277 Single Fusing (277V)	FK277 ⁶	FK347 Single Fusing (347V)	FK347 ⁶
DFK208, 240 Double Fusing (208V, 240V)	DFK208, 240 ⁶		

LUMINAIRE EPA CHART - XDLM		
	Single	1.8
	D180°	3.1
	D90°	2.7
	T90°	4.0
	TN120°	4.0
	Q90°	4.9
Note: Includes Bracket		

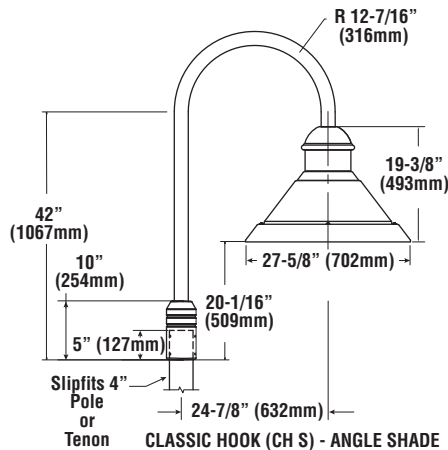
FOOTNOTES:

- When ordering a multiple configuration (D180, etc.) order one fixture/bracket configuration per pole - i.e. order one XDLMB 3 LED SS CW UE BLK CH D180 PCI120 to receive two fixtures and one CH D180 bracket (see drawing on this page). See STEEL ROUND POLES and ALUMINUM ROUND POLES data sheets for pole ordering information.
- See Lifestyle Bracket ordering chart for Mounting Style/Configurations availability.
- 3" reduced drilling pattern required.
- For use with SA4 and SA5 mounting styles only.
- DIM and BLS cannot be ordered together.
- Fusing must be located in the hand hole of pole.

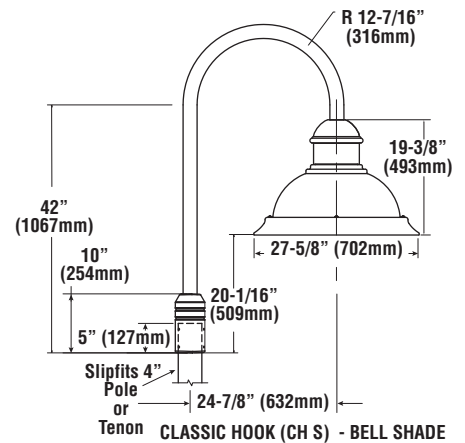
DIMENSIONS



SIDE ARM (SA4 S) - ANGLE SHADE

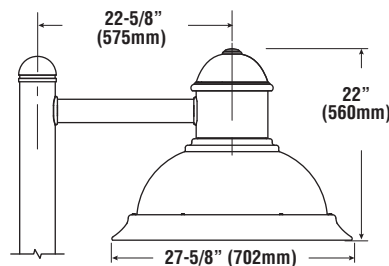


CLASSIC HOOK (CH S) - ANGLE SHADE



CLASSIC HOOK (CH S) - BELL SHADE

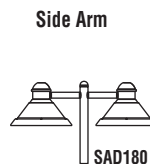
See Lifestyle Brackets and Mounts in outdoor section of latest Buyers Guide for details on other bracket sizes.



SIDE ARM (SA4 S) - BELL SHADE



CHD180



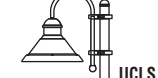
SAD180



UCLD180



SAW



UCLS



Project Name _____ Fixture Type _____
Catalog # _____

10/21/15
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